

DEVELOPMENT APPLICATION PROPOSED RESIDENTIAL APARTMENTS

CALCULATIONS

Site area	=	1,751.6 sq m
Building area	=	724.7 sq m
Site cover	=	41.4%
Gross floor area	=	3,503.3 sq m
Floor space ratio	=	2.000 : 1

FLOOR AREAS

Basement Level 2*	=	1,180.7 sq m*
Basement Level 1*	=	1,069.1 sq m*
Ground Floor Level	=	469.6 sq m
Level 1	=	669.3 sq m
Level 2	=	669.3 sq m
Level 3	=	669.3 sq m
Level 4	=	669.3 sq m
Level 5	=	356.5 sq m
TOTAL	=	3,503.3 sq m

*** REFER TO F.S.R. CALCULATION DIAGRAM FOR FURTHER DETAILS

* indicates area NOT included in floor area calculations

SPACE PROVISIONS

	Residents CarSPACE	Adaptable CarSPACE	Visitor CarSPACE	Carwash Bay	Total CarSpaces	Storage Spaces	Motorcycle Bays	Bicycle Bays - Residents	Bicycle Bays - Visitors
Basement Level 2	27	4			31	30		7	
Basement Level 1	12	1	9	1	23	11	3	7	
Ground Floor Level									2
PROPOSED TOTAL	44	10	54	41	3	16			

*** REFER TO F.S.R. + SITE CALCULATION DIAGRAMS FOR FURTHER DETAILS

Deep Soil Landscaping: (min. 6 sq m calculated) = 393.8 sq m (22.5%)

Total Landscaping: (soft soil + deep soil areas calculated) = 756.8 sq m (43.2%)

Communal Open Space:	Ground Level 5	= 253.6 sq m
		= 188.6 sq m
	Total	= 442.2 sq m (25.2%)

Sunlight to Common Areas: Total (2 hrs min.) = 223.3 sq m of 442.2 sq m (50.5% of C.O.S. areas)

UNIT BREAKDOWN

	1 bed	1 bed + study	2 bed	3 bed	3 bed + study	Total
Ground Floor Level	1	1	1	1	1	5
Levels 1 to 4	4		24	4	4	32
Level 5			4			4
SUB TOTAL	5	1	29	5	1	
PROPOSED TOTAL	(12%)	(2.5%)	(71%)	(12%)	(2.5%)	41

Total Number of Adaptable Units =	5 (12%)
Total Number of Cross-Ventilated Units =	32 (78%)
Total Number of Units with Solar Access =	36 (88%)
Total Number of External Kitchens in Units =	11 (27%)

Room Schedule

Unit No.	No. of Bedrooms	Post - Adaptable	Unit Area	Balc / Courtyard Area	Internal Storage Volume	Basement Storage No.	Basement Storage Volume
01	2 Bed	No	80.3 m²	25.8 m²	4.0 m³	S41	10.9 m³
02	3 Bed + Study	No	97.8 m²	36.4 m²	14.8 m³	S40	8.8 m³
03	2 Bed	No	78.3 m²	13.5 m²	4.2 m³	S39	9.7 m³
04	1 Bed	Yes	54.0 m²	9.3 m²	11.0 m³	S36	7.7 m³
05	2 Bed	No	75.3 m²	10.1 m²	5.7 m³	S38	6.9 m³
06	2 Bed	No	79.2 m²	18.4 m²	6.2 m³	S37	7.8 m³
07	2 Bed	No	75.2 m²	16.5 m²	5.0 m³	S35	7.7 m³
08	2 Bed	No	78.3 m²	13.5 m²	4.2 m³	S34	7.7 m³
09	1 Bed	Yes	54.0 m²	9.4 m²	11.0 m³	S28	9.7 m³
10	2 Bed	No	75.3 m²	10.0 m²	5.7 m³	S33	7.7 m³
11	2 Bed	No	79.2 m²	18.4 m²	6.2 m³	S32	7.7 m³
12	2 Bed	No	75.2 m²	16.5 m²	5.0 m³	S31	7.8 m³
13	2 Bed	No	78.3 m²	13.5 m²	4.2 m³	S30	10.9 m³
14	1 Bed	Yes	54.0 m²	9.4 m²	11.0 m³	S27	8.0 m³
15	2 Bed	No	75.3 m²	10.0 m²	5.7 m³	S29	8.8 m³
16	2 Bed	No	79.2 m²	18.4 m²	6.2 m³	S26	7.8 m³
17	2 Bed	No	75.2 m²	16.5 m²	5.0 m³	S25	7.7 m³
18	2 Bed	No	78.3 m²	13.5 m²	4.2 m³	S24	7.7 m³
19	1 Bed	Yes	54.0 m²	9.4 m²	11.0 m³	S13	6.3 m³
20	2 Bed	No	75.3 m²	10.0 m²	5.7 m³	S23	7.7 m³
21	2 Bed	No	79.2 m²	18.4 m²	6.2 m³	S22	7.7 m³
22	2 Bed	No	75.2 m²	16.5 m²	5.0 m³	S21	7.7 m³
23	2 Bed	No	78.3 m²	10.0 m²	4.2 m³	S20	7.8 m³
24	2 Bed	No	77.0 m²	75.8 m²	4.2 m³	S19	8.0 m³
25	2 Bed	No	79.2 m²	13.1 m²	6.2 m³	S18	8.0 m³
26	3 Bed	No	95.2 m²	51.2 m²	7.3 m³	S17	8.1 m³
27	1 Bed + Study	No	66.8 m²	25.8 m²	12.7 m³	S05	5.4 m³
28	1 Bed	Yes	55.5 m²	39.2 m²	4.2 m³	S14	6.5 m³
29	3 Bed	No	95.2 m²	12.0 m²	7.3 m³	S16	6.4 m³
30	2 Bed	No	83.5 m²	13.5 m²	4.2 m³	S15	6.5 m³
31	2 Bed	No	75.0 m²	13.2 m²	5.9 m³	S12	6.3 m³
32	3 Bed	No	95.2 m²	12.0 m²	7.3 m³	S11	6.3 m³
33	2 Bed	No	83.5 m²	13.5 m²	4.2 m³	S10	6.3 m³
34	2 Bed	No	75.0 m²	13.2 m²	5.9 m³	S09	6.3 m³
35	3 Bed	No	95.2 m²	12.0 m²	7.3 m³	S08	5.4 m³
36	2 Bed	No	83.5 m²	13.5 m²	4.2 m³	S07	5.4 m³
37	2 Bed	No	75.0 m²	13.2 m²	5.9 m³	S06	5.4 m³
38	3 Bed	No	95.2 m²	12.0 m²	7.3 m³	S04	5.4 m³
39	2 Bed	No	83.5 m²	13.5 m²	4.2 m³	S03	5.0 m³
40	2 Bed	No	75.0 m²	13.2 m²	5.9 m³	S02	5.0 m³
41	2 Bed	No	83.5 m²	49.5 m²	4.2 m³	S01	5.0 m³

Schedule of BASIX commitments

The commitments set out below require how the proposed development is to be carried out. It is a condition of any development consent granted or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

(a) Development

(i) Water

(a) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for its planting in the "indigenous species" column of the table in the BASIX Certificate, see private landscaping for this dwelling.

(b) The applicant must not install a swimming pool or spa for the dwelling, with a volume exceeding that specified in it in the table of the BASIX Certificate.

(c) The applicant must not install a central water supply system, with the exception of the central hot water system for the dwelling, that is not specified in the table of the BASIX Certificate. Each system must be designed to control non-use time the system is operating (including any area which supplies any other water supply system), and to limit leakage as specified. Each system must be approved as specified.

(ii) Energy

(a) The applicant must install one hot water system for the dwelling in the table of the BASIX Certificate, and that the system is not specified in the table of the BASIX Certificate. The table specifies a central hot water system for the dwelling, that is not specified in the table of the BASIX Certificate. The applicant must ensure that each system is installed in the table of the BASIX Certificate.

(b) The applicant must install a hot water system for the dwelling in the table of the BASIX Certificate, and that the system is not specified in the table of the BASIX Certificate. The table specifies a central hot water system for the dwelling, that is not specified in the table of the BASIX Certificate. The applicant must ensure that each system is installed in the table of the BASIX Certificate.

(iii) Thermal Comfort

(a) Where there is an existing building or cooling system, the applicant must

(i) install insulation with an R-value of not less than 1.0 across the vertical edges of the perimeter of the slab or

(ii) fix or insulate steel, metal insulation with an R-value of not less than 1.0 throughout the slab and across the vertical edges of the perimeter of the slab.

(b) The applicant must install a hot water system for the dwelling in the table of the BASIX Certificate, and that the system is not specified in the table of the BASIX Certificate.

(b) Common areas and central systems/facilities

(i) Water

(a) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table of the BASIX Certificate, in each case, the system must be sized, be configured, and be approved, as specified in the table of the BASIX Certificate.

(b) A swimming pool or spa listed in the table must not have a volume (in kL) greater than that specified for the pool or spa in the table of the BASIX Certificate.

(ii) Energy

(a) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table in the BASIX Certificate. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table of the BASIX Certificate.

DRAWING LIST

site analysis	1:300	DA01
demolition plan	1:100	DA02
basement level 2	1:100	DA03
basement level 1	1:100	DA04
ground floor level	1:100	DA05
level 1	1:100	DA06
level 2	1:100	DA07
level 3	1:100	DA08
level 4	1:100	DA09
level 5	1:100	DA10
roof plan	1:100	DA11
site elevations	1:200	DA12
site sections	1:200	DA13
typical unit + post-adaptable layouts	as shown	DA14
site details (Driveway / Mail / Fence)	1:50	DA15
waste management plan	1:50	DA16
3d height plane diagram	1:100	DA17
f.s.r. + site calculation diagrams	1:200	DA18
shadow diagrams 9am 21st June	1:200	DA19
shadow diagrams 10am 21st June	1:200	DA20
shadow diagrams 11am 21st June	1:200	DA21
shadow diagrams 12noon 21st June	1:200	DA22
shadow diagrams 1pm 21st June	1:200	DA23
shadow diagrams 2pm 21st June	1:200	DA24
shadow diagrams 3pm 21st June	1:200	DA25
shadow diagrams September Equinox	1:300	DA26
shadow diagrams December Equinox	1:300	DA27
shadow diagrams March Equinox	1:300	DA28
solar access diagrams	1:200	DA29
aerial views	as shown	DA30
aerial views + streetscape elevation	1:250	DA31
3d sections	as shown	DA32
schedule of finishes	1:100	DA33



Issue E: Amended to address Council's letter	22.06.18
Issue D: Parking provisions reduced in accordance with Part 3J of the ADG	11.05.18
Issue C: Development Application Issue	05.02.18
Issue B: Prelim. Issue to Consultants	21.12.17
Issue A: Prelim. Issue to Client	29.11.17

7-11 Weston Street, Fairfield

Client: Sun Life Dior Pty. Ltd. ATF Sun Life Dior Unit Trust

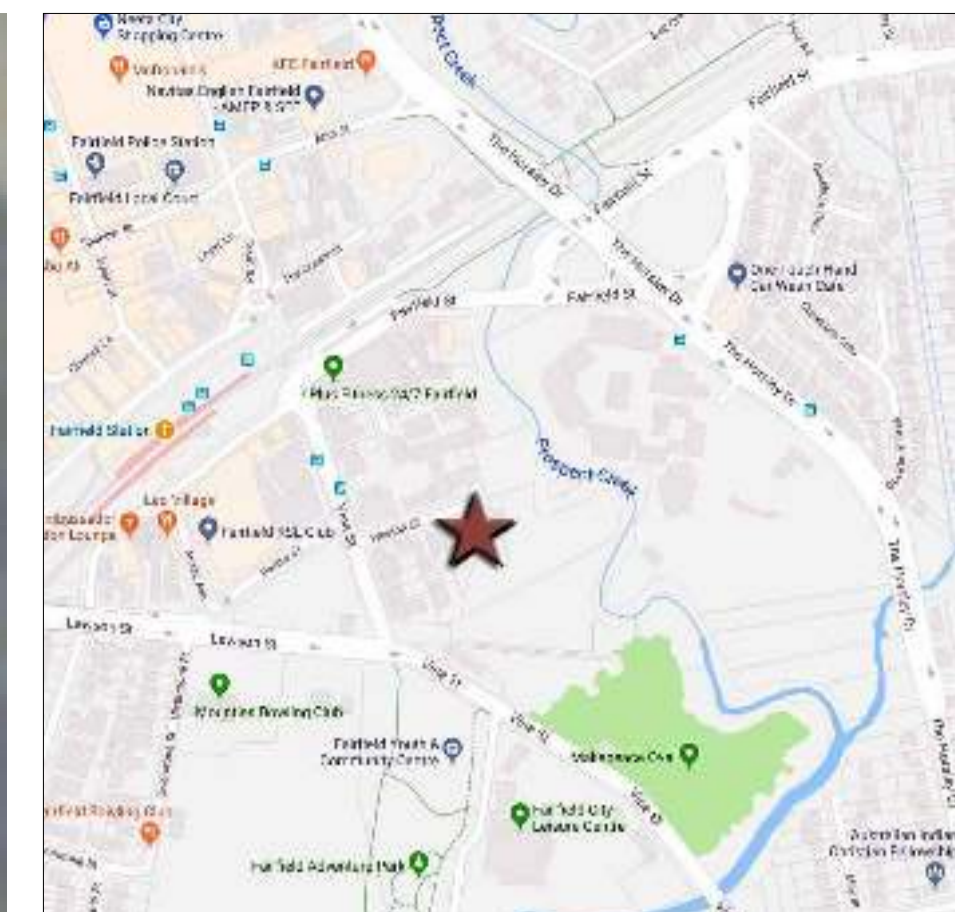
job no. 2356

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Site Analysis



Location Map

LEGEND

- PREVAILING WIND DIRECTION
- NOISE SOURCE
- OPTIMAL VIEW(S) FROM SITE
- NUMBER OF STOREYS

0 3 6 15 m

True northpoint

Notes:
Do not scale, check and verify all dimensions before commencing new work, ground levels may vary due to site conditions.

NOTE:
- for more information regarding the site and its surrounds refer to the written site analysis statement
- refer to ground floor plan and survey drawings for site dimensions and bearings

ARCHITECTURAL CHARACTER:
refer to written site analysis statement

E Amended to address Council's letter	22-06-18
C Development Application Issue	05-02-18
Issue description	Date

architex

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 Level 3, 7K Parkes Street
 Parramatta NSW 2150
 Principal Architect: Robert Del Pizzo
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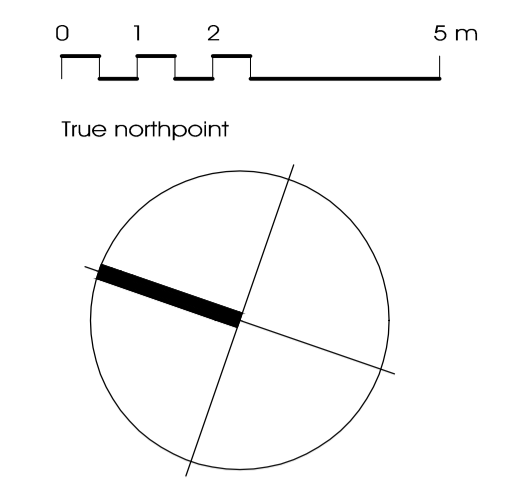
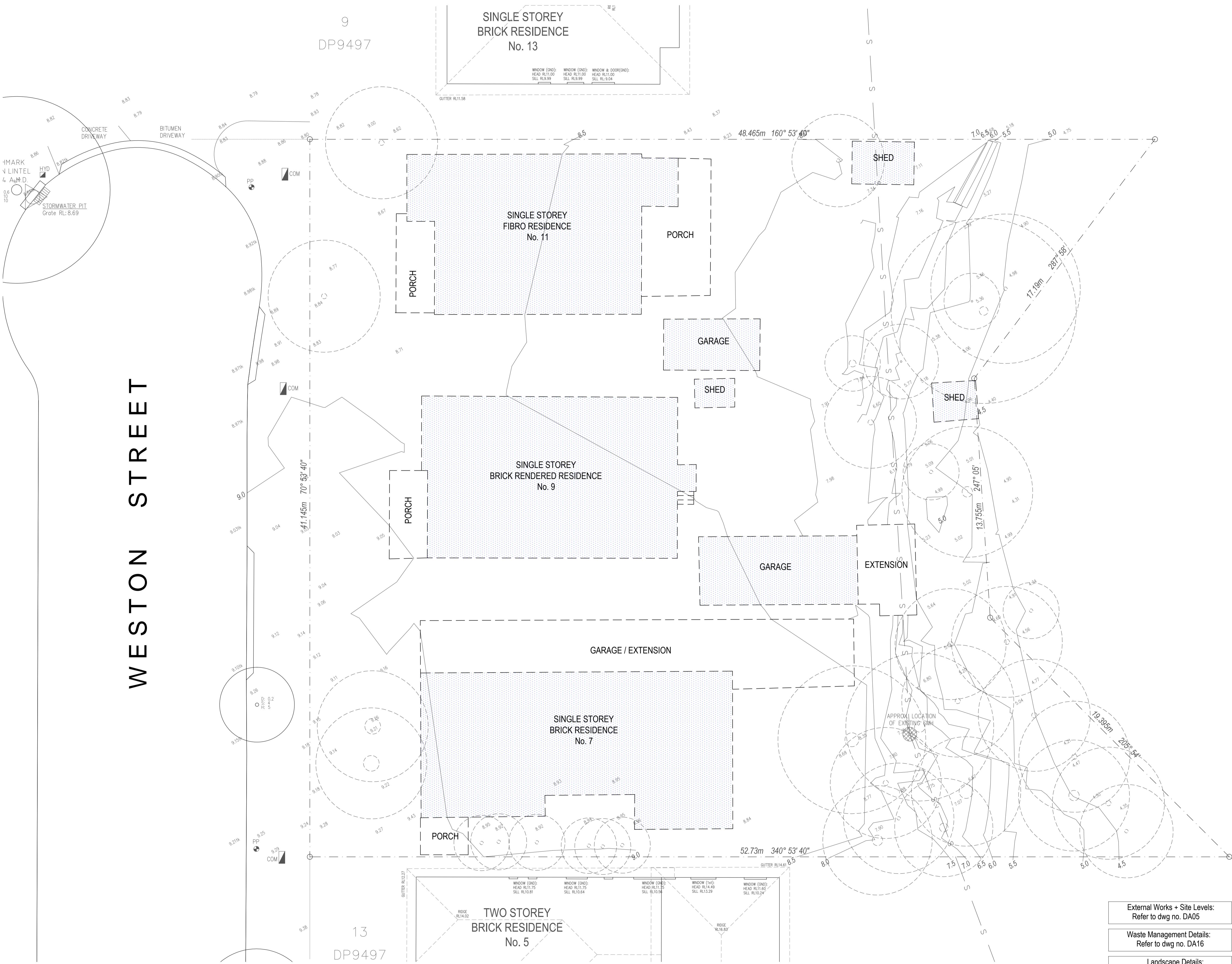
- LOCAL AMENITIES**
- 400m to Fairfield Shopping Mall
 - 300m to Fairfield Train Station
 - 120m to nearest Bus Stop (Vine Street)
 - 200m to Fairfield Park
220m to Fairfield Leisure Centre
 - 400m to Fairfield Post Office
 - 50m to Lady of the Rosary Church
 - 20m to Lady of the Rosary Primary School
100m to Fairfield Patrician Bros. Catholic

- External Works + Site Levels:
Refer to dwg no. DA05
- Waste Management Details:
Refer to dwg no. DA16
- Landscape Details:
Refer to Landscape Drawings
- Stormwater Details + Site Levels:
Refer to Hydraulic Eng. Drawings

DEVELOPMENT APPLICATION

Project	Proposed Residential Apartments	
Project address	7-11 Weston Street, Fairfield	
Client	Sun Life Dior Pty. Ltd. ATF Sun Life Dior Unit Trust	
Title	Site Analysis	
Drawn	Scale	Checked
PDP	1:300 @ A1	
Job No.	Drawing No.	Issue
2356	DA01	E

WESTON STREET



Notes:
Do not scale, check and verify all dimensions before commencing new work, ground levels may vary due to site conditions.

LEGEND

HATCH INDICATES STRUCTURE TO BE DEMOLISHED

E Amended to address Council's letter	22-06-18
C Development Application Issue	05-02-18
Issue description	Date

architex

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Project	Proposed Residential Apartments				
Project address	7-11 Weston Street, Fairfield				
Client	Sun Life Dior Pty. Ltd. ATF Sun Life Dior Unit Trust				
Title	Demolition Plan				
Drawn	PDP	Scale	1:100@A1	Checked	
Job No.	2356	Drawing No.	DA02	Issue	E

DEVELOPMENT APPLICATION

- External Works + Site Levels:
Refer to dwg no. DA05
- Waste Management Details:
Refer to dwg no. DA16
- Landscape Details:
Refer to Landscape Drawings
- Stormwater Details + Site Levels:
Refer to Hydraulic Eng. Drawings

Demolition Plan

Basement Storage Schedule

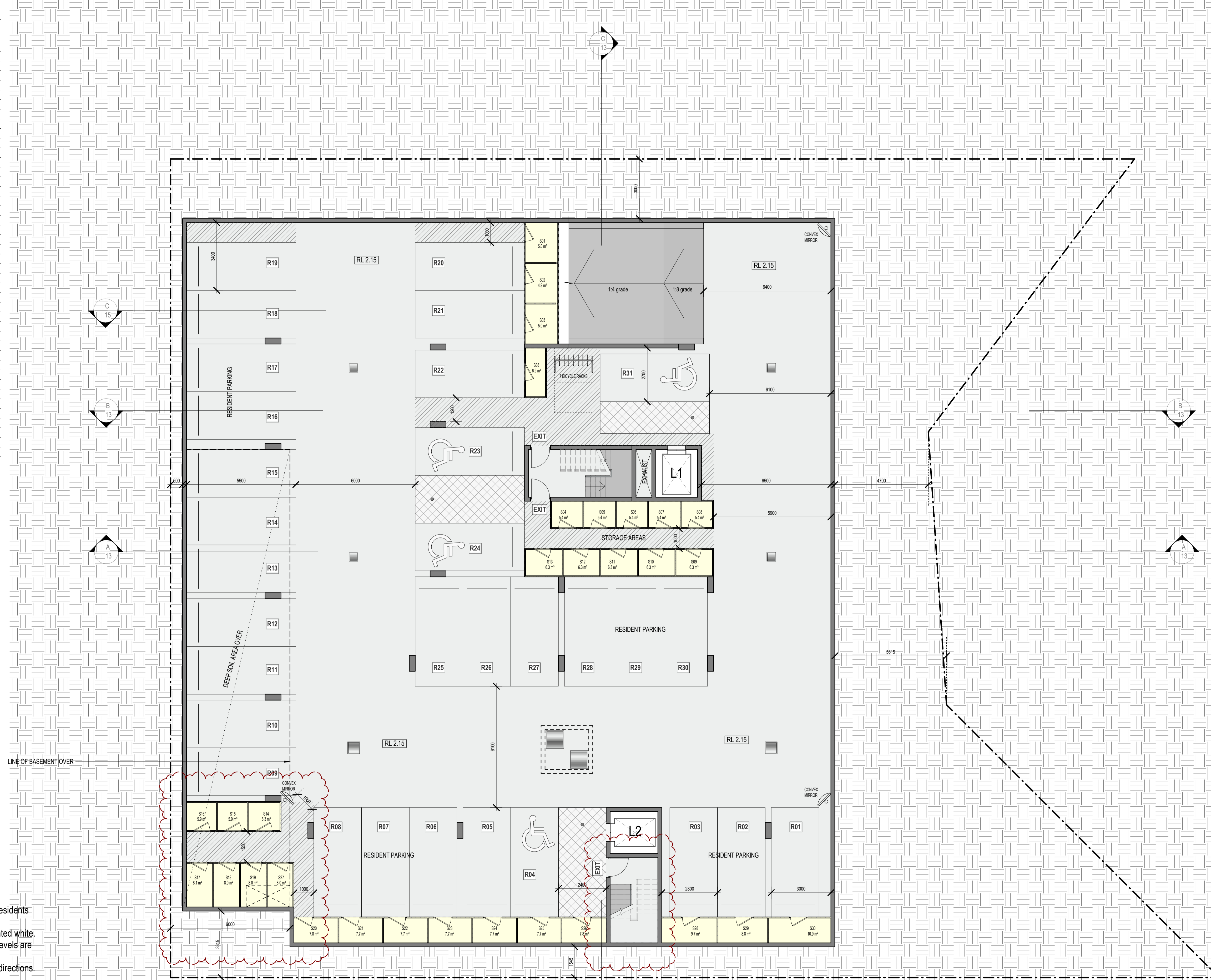
Unit No.	No. of Bedrooms	Basement Storage No.	Basement Storage Volume
01	2 Bed	S41	10.9 m ³
02	3 Bed + Study	S40	8.8 m ³
03	2 Bed	S39	9.7 m ³
04	1 Bed	S36	7.7 m ³
05	2 Bed	S38	6.9 m ³
06	2 Bed	S37	7.8 m ³
07	2 Bed	S35	7.7 m ³
08	2 Bed	S34	7.7 m ³
09	1 Bed	S28	9.7 m ³
10	2 Bed	S33	7.7 m ³
11	2 Bed	S32	7.7 m ³
12	2 Bed	S31	7.8 m ³
13	2 Bed	S30	10.9 m ³
14	1 Bed	S27	8.0 m ³
15	2 Bed	S29	8.8 m ³
16	2 Bed	S26	7.8 m ³
17	2 Bed	S25	7.7 m ³
18	2 Bed	S24	7.7 m ³
19	1 Bed	S13	6.3 m ³
20	2 Bed	S23	7.7 m ³
21	2 Bed	S22	7.7 m ³
22	2 Bed	S21	7.7 m ³
23	2 Bed	S20	7.8 m ³
24	2 Bed	S19	8.0 m ³
25	2 Bed	S18	8.0 m ³
26	3 Bed	S17	8.1 m ³
27	1 Bed + Study	S05	5.4 m ³
28	1 Bed	S14	6.5 m ³
29	3 Bed	S16	6.4 m ³
30	2 Bed	S15	6.5 m ³
31	2 Bed	S12	6.3 m ³
32	3 Bed	S11	6.3 m ³
33	2 Bed	S10	6.3 m ³
34	2 Bed	S09	6.3 m ³
35	3 Bed	S08	5.4 m ³
36	2 Bed	S07	5.4 m ³
37	2 Bed	S06	5.4 m ³
38	3 Bed	S04	5.4 m ³
39	2 Bed	S03	5.0 m ³
40	2 Bed	S02	5.0 m ³
41	2 Bed	S01	5.0 m ³

NOTE:

- All security shutters to be controlled by residents with remote air key system access.
- All underground parking areas to be painted white.
- All storage areas located in the parking levels are enclosed with cyclone mesh fencing and doors/gates are hinged to swing in both directions.

Basement Level 2

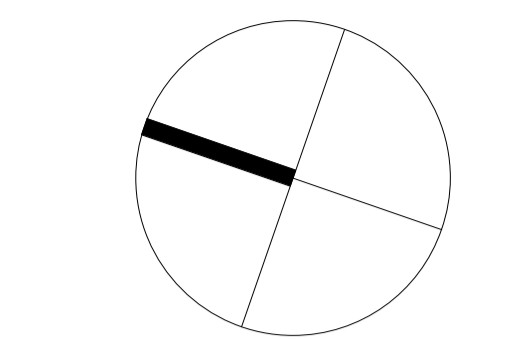
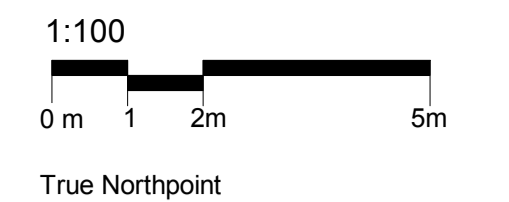
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DRIVEWAY RAMP SECTION:
Refer to dwg no. DA15

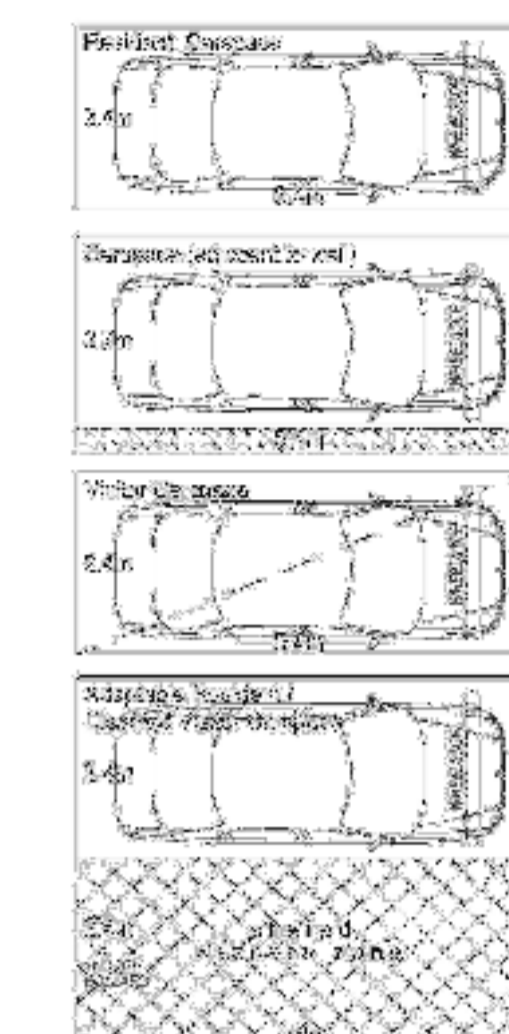
WASTE MANAGEMENT PLAN:
Refer to dwg no. DA16

DEVELOPMENT APPLICATION



Do not scale, check and verify all dimensions before commencing new work. ground levels may vary due to site conditions.

Parking Legend



Notes:

1. All storage areas to be enclosed with cyclone mesh fencing and doors/gates are hinged to swing in both directions.
2. All storage areas to be painted white.
3. All security shutters to be controlled by residents with remote air key system access.

Issue	Issue description	Date
E	Amended to address Council's letter	22-06-18
D	Parking reduced in accordance with Part 3.1 of the ADG	11-05-18
C	Development Application Issue	23-02-18
B	Prelim. Issue to Consultants	21-12-17
A	Prelim. Issue to Client	28-11-17

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Project
PROPOSED RESIDENTIAL APARTMENTS

Project Address
7-11 Weston Street, Fairfield

Client
Sun Life Dior Pty. Ltd. ATF
ATF Sun Life Dior Unit Trust

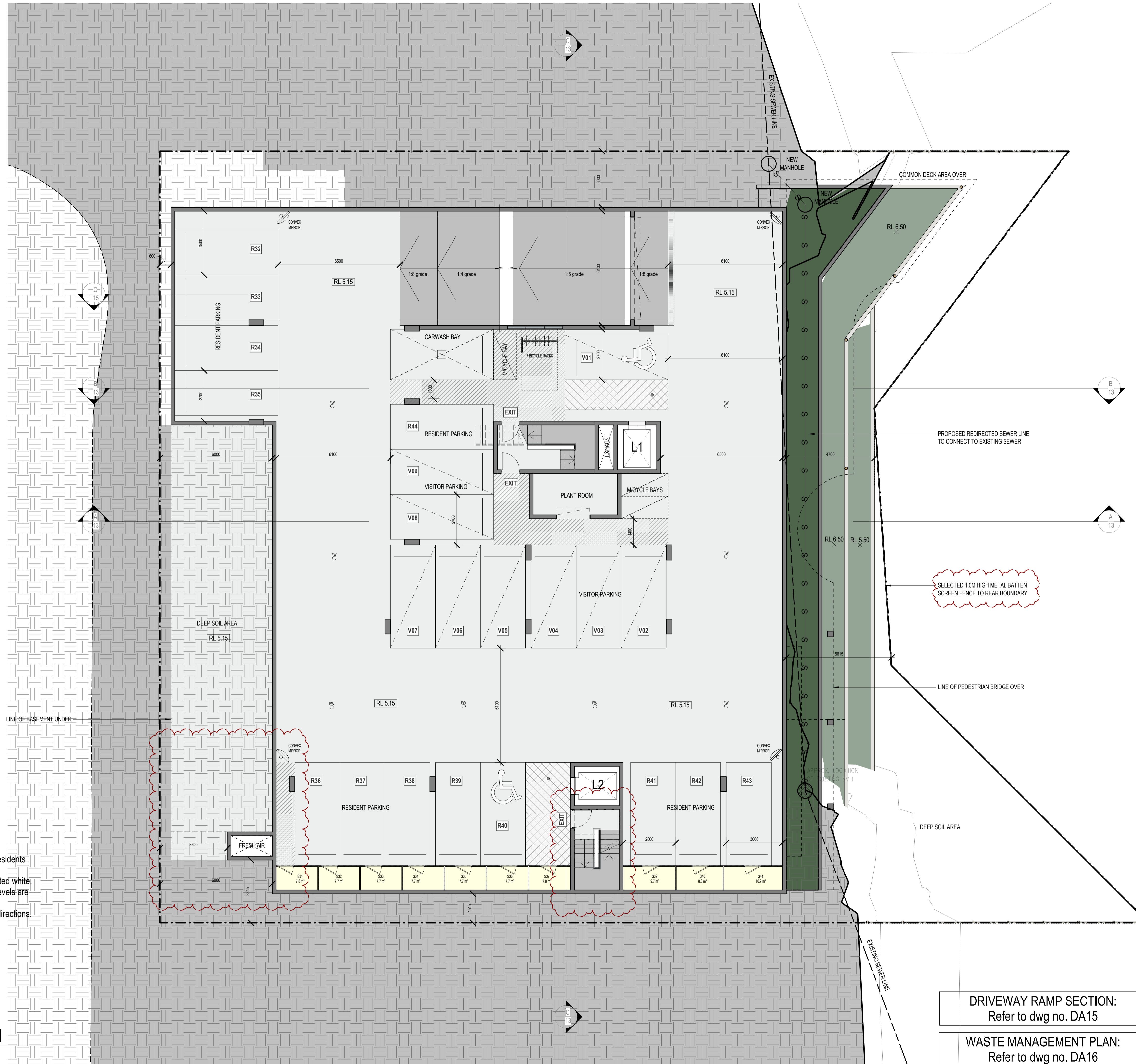
Title
Basement Level 2

Drawn	Scale	Checked
PDP	1:100	
Job No	Drawing No.	Issue
2356	DA03	E

Basement Storage Schedule

Unit No.	No. of Bedrooms	Basement Storage No.	Basement Storage Volume
01	2 Bed	S41	10.9 m ³
02	3 Bed + Study	S40	8.8 m ³
03	2 Bed	S39	9.7 m ³
04	1 Bed	S36	7.7 m ³
05	2 Bed	S38	6.9 m ³
06	2 Bed	S37	7.8 m ³
07	2 Bed	S35	7.7 m ³
08	2 Bed	S34	7.7 m ³
09	1 Bed	S28	9.7 m ³
10	2 Bed	S33	7.7 m ³
11	2 Bed	S32	7.7 m ³
12	2 Bed	S31	7.8 m ³
13	2 Bed	S30	10.9 m ³
14	1 Bed	S27	8.0 m ³
15	2 Bed	S29	8.8 m ³
16	2 Bed	S26	7.8 m ³
17	2 Bed	S25	7.7 m ³
18	2 Bed	S24	7.7 m ³
19	1 Bed	S13	6.3 m ³
20	2 Bed	S23	7.7 m ³
21	2 Bed	S22	7.7 m ³
22	2 Bed	S21	7.7 m ³
23	2 Bed	S20	7.8 m ³
24	2 Bed	S19	8.0 m ³
25	2 Bed	S18	8.0 m ³
26	3 Bed	S17	8.1 m ³
27	1 Bed + Study	S05	5.4 m ³
28	1 Bed	S14	6.5 m ³
29	3 Bed	S16	6.4 m ³
30	2 Bed	S15	6.5 m ³
31	2 Bed	S12	6.3 m ³
32	3 Bed	S11	6.3 m ³
33	2 Bed	S10	6.3 m ³
34	2 Bed	S09	6.3 m ³
35	3 Bed	S08	5.4 m ³
36	2 Bed	S07	5.4 m ³
37	2 Bed	S06	5.4 m ³
38	3 Bed	S04	5.4 m ³
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41	2 Bed	S01	5.0 m ³

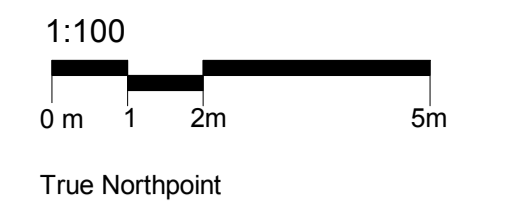
WESTON STREET



NOTE:

- All security shutters to be controlled by residents with remote air key system access.
- All underground parking areas to be painted white.
- All storage areas located in the parking levels are enclosed with cyclone mesh fencing and doors/gates are hinged to swing in both directions.

Basement Level 1
1 : 100



Parking Legend

	Standard Car	2.4m
	SUV	2.6m
	Motorcycle	1.8m
	Bicycle	0.6m
	Bicycle Racks	0.6m
	Carwash	3.0m
	Plant Room	3.0m
	Bicycle Racks	0.6m
	Visitor Parking	2.0m
	Resident Parking	2.0m

Issue	Issue description	Date
E	Amended to address Council's letter	22-06-18
D	Parking reduced in accordance with Part 31 of the ADG	11-05-18
C	Development Application Issue	23-02-18
B	Prelim. Issue to Consultants	21-12-17
A	Prelim. Issue to Client	28-11-17

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DEVELOPMENT APPLICATION

Project
PROPOSED RESIDENTIAL APARTMENTS

Project Address
7-11 Weston Street, Fairfield

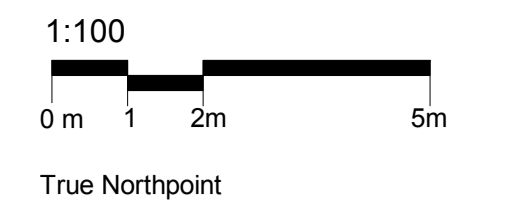
Client
Sun Life Dior Pty. Ltd. ATF
ATF Sun Life Dior Unit Trust

Title
Basement Level 1

Drawn PDP	Scale 1 : 100	Checked
Job No 2356	Drawing No. DA04	Issue E

DRIVEWAY RAMP SECTION:
Refer to dwg no. DA15

WASTE MANAGEMENT PLAN:
Refer to dwg no. DA16



Window No.	Width	Height	Description
AW01	900	1500	AWNING
AW02	2400	900	AWNING / FIXED
AW03a	900	2100	AWNING / FIXED + LOWLIGHT - 1 PANE
AW03b	900	1800	AWNING / FIXED + LOWLIGHT - 1 PANE
AW04a	1800	1800	AWNING / FIXED + LOWLIGHT - 2 PANE
AW04b	1800	2400	AWNING / FIXED + LOWLIGHT - 2 PANE
AW04c	1800	2700	AWNING / FIXED + LOWLIGHT - 2 PANE
AW05	2400	2100	AWNING / FIXED + LOWLIGHT - 2 PANE
AW05b	2400	2700	AWNING / FIXED + LOWLIGHT - 2 PANE
FW01	1000	1800	FIXED
LW01	3000	1200	FIXED METAL LOUVRES
SD01	1800	2700	SLIDING DOOR - 2 PANEL
SD01a	1800	1800	SLIDING DOOR - 2 PANEL
SD02	2400	2700	SLIDING DOOR - 2 PANEL
SD02a	2400	2400	SLIDING DOOR - 2 PANEL
SD03	3600	2700	SLIDING DOOR - 3 PANEL
SD03a	3600	2400	SLIDING DOOR - 3 PANEL
SD04	4800	2400	SLIDING DOOR - 4 PANEL

REFER TO TYPICAL UNIT LAYOUTS FOR POST-ADAPTABLE + FURNITURE LAYOUTS + FURTHER DETAILS

MAIL + FENCE + DRIVEWAY DETAILS: REFER TO DWG NO. DA15

WASTE MANAGEMENT DETAILS: REFER TO DWG NO. 16

STORMWATER DETAILS + SITE LEVELS: REFER TO HYDRAULIC DRAWINGS

LANDSCAPE DETAILS: REFER TO LANDSCAPE DRAWINGS

EXISTING TREES: REFER TO ARBORIST REPORT

Issue	Issue description	Date
E	Amended to address Council's letter	22-06-18
D	Parking reduced in accordance with Part 3.1 of the ADG	11-05-18
C	Development Application Issue	23-02-18
B	Prelim. Issue to Consultants	21-12-17
A	Prelim. Issue to Client	29-11-17

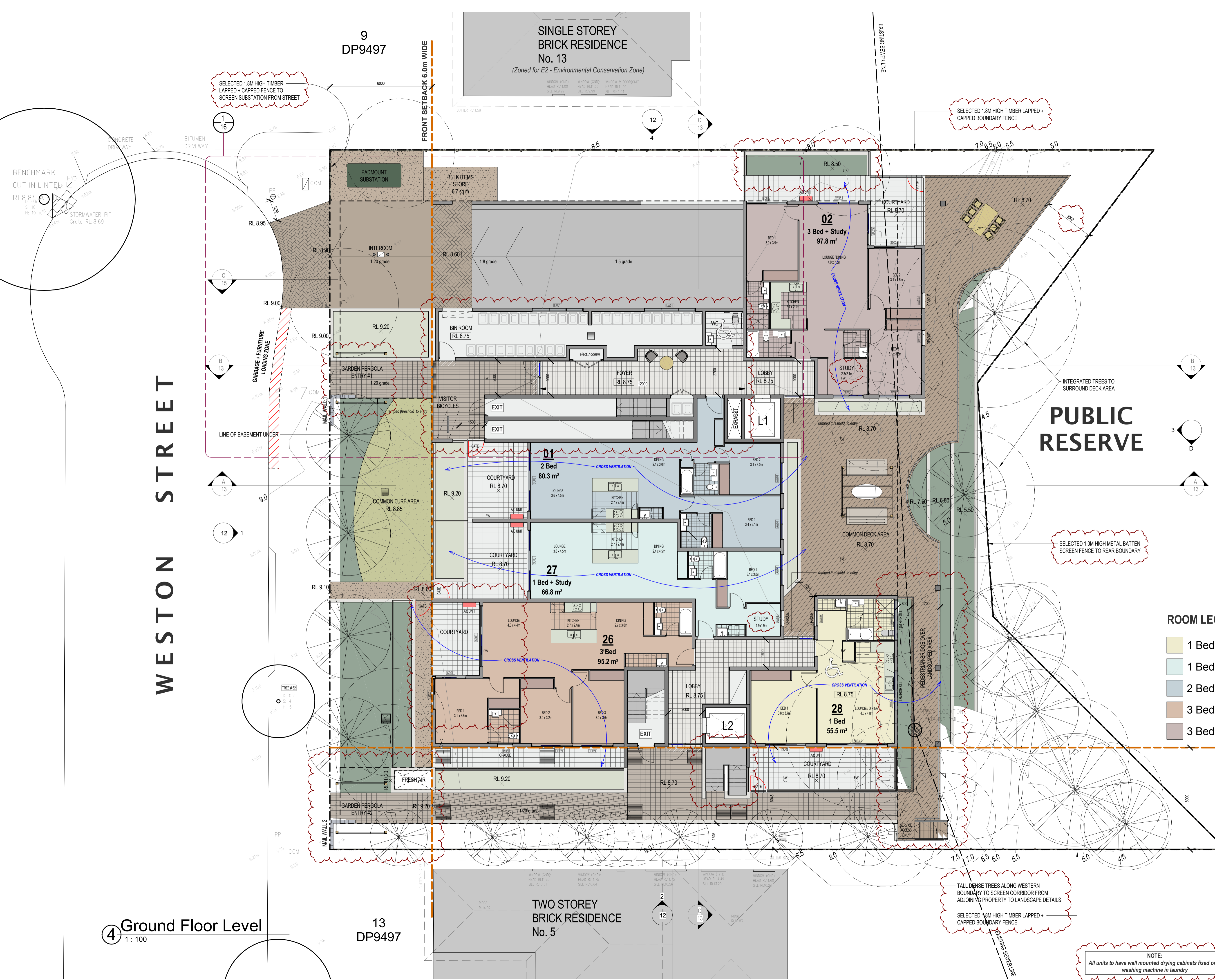
ROOM LEGEND

- 1 Bed
- 1 Bed + Study
- 2 Bed
- 3 Bed
- 3 Bed + Study

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 Principal Architect: Robert Del Pizzo
 NSW Reg. No. 3972

Project	PROPOSED RESIDENTIAL APARTMENTS
Project Address	7-11 Weston Street, Fairfield
Client	Sun Life Dior Pty. Ltd. ATF ATF Sun Life Dior Unit Trust
Title	Ground Floor Level
Drawn	PDP
Scale	1 : 100
Checked	
Job No	2356
Drawing No.	DA05
Issue	E

DEVELOPMENT APPLICATION



4 Ground Floor Level
1 : 100

13 DP9497

TWO STOREY BRICK RESIDENCE No. 5

SINGLE STOREY BRICK RESIDENCE No. 13
(Zoned for E2 - Environmental Conservation Zone)

9 DP9497

PUBLIC RESERVE

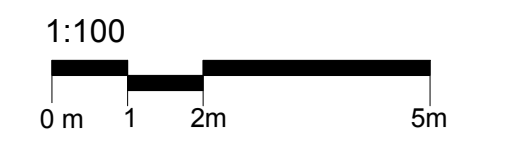
SELECTED 1.0M HIGH METAL BATTEN SCREEN FENCE TO REAR BOUNDARY

TALL DENSE TREES ALONG WESTERN BOUNDARY TO SCREEN CORRIDOR FROM ADJOINING PROPERTY TO LANDSCAPE DETAILS
SELECTED 1.8M HIGH TIMBER LAPPED + CAPPED BOUNDARY FENCE

NOTE:
All units to have wall mounted drying cabinets fixed over washing machine in laundry

9
DP9497

SINGLE STOREY
BRICK RESIDENCE
No. 13

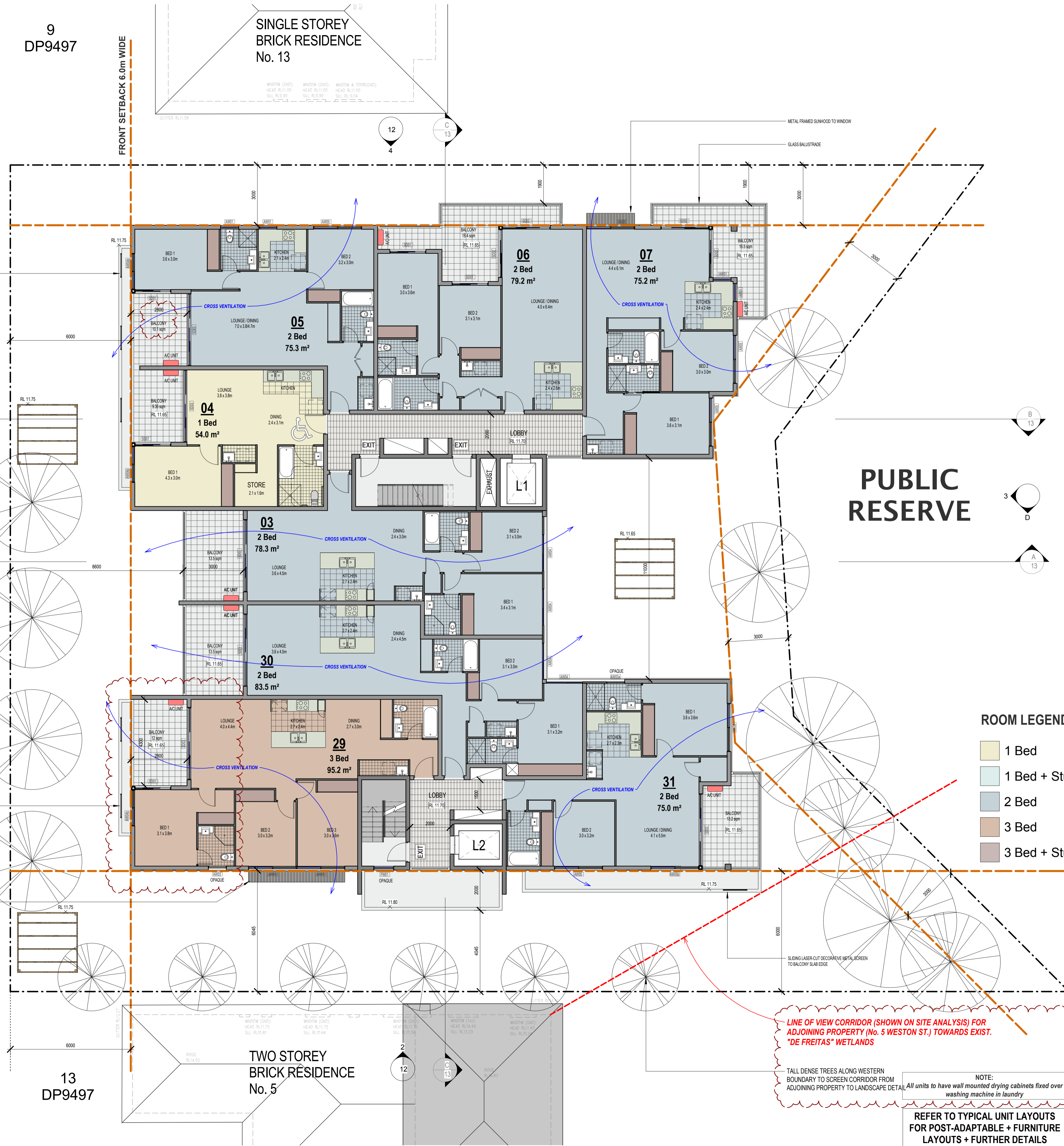


1:100
True Northpoint

Do not scale, check and verify all dimensions before commencing new work, ground levels may vary due to site conditions.

WESTON STREET

FRONT SETBACK 6.0m WIDE



Window Schedule

Window No.	Width	Height	Description
AW01	900	1500	AWNING
AW02	2400	900	AWNING / FIXED
AW03	900	2100	AWNING / FIXED + LOWLIGHT - 1 PANE
AW03a	900	1800	AWNING / FIXED + LOWLIGHT - 1 PANE
AW04	1800	1800	AWNING / FIXED + LOWLIGHT - 2 PANE
AW04a	1800	2400	AWNING / FIXED + LOWLIGHT - 2 PANE
AW04b	1800	2700	AWNING / FIXED + LOWLIGHT - 2 PANE
AW05	2400	2100	AWNING / FIXED + LOWLIGHT - 2 PANE
AW05b	2400	2700	AWNING / FIXED + LOWLIGHT - 2 PANE
FW01	1000	1800	FIXED
LW01	3000	1200	FIXED METAL LOUVRES
SD01	1800	2700	SLIDING DOOR - 2 PANEL
SD01a	1800	2400	SLIDING DOOR - 2 PANEL
SD02	2400	2700	SLIDING DOOR - 2 PANEL
SD02a	2400	2400	SLIDING DOOR - 2 PANEL
SD03	3600	2700	SLIDING DOOR - 3 PANEL
SD03a	3600	2400	SLIDING DOOR - 3 PANEL
SD04	4800	2400	SLIDING DOOR - 4 PANEL

PUBLIC RESERVE

ROOM LEGEND

- 1 Bed
- 1 Bed + Study
- 2 Bed
- 3 Bed
- 3 Bed + Study

Issue	Issue description	Date
E	Amended to address Council's letter	22-06-18
C	Development Application Issue	23-02-18
B	Prelim. Issue to Consultants	21-12-17
A	Prelim. Issue to Client	29-11-17

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 Principal Architect: Robert Del Pizzo
 NSW Reg. No. 3972

DEVELOPMENT APPLICATION

Project
PROPOSED RESIDENTIAL APARTMENTS

Project Address
7-11 Weston Street, Fairfield

Client
Sun Life Dior Pty. Ltd. ATF
ATF Sun Life Dior Unit Trust

Title
Level 1

Drawn	Scale	Checked
PDP	1:100	
Job No	Drawing No.	Issue
2356	DA06	E

LINE OF VIEW CORRIDOR (SHOWN ON SITE ANALYSIS) FOR ADJOINING PROPERTY (No. 5 WESTON ST.) TOWARDS EXIST. "DE FREITAS" WETLANDS

TALL DENSE TREES ALONG WESTERN BOUNDARY TO SCREEN CORRIDOR FROM ADJOINING PROPERTY TO LANDSCAPE DETAIL.

NOTE:
All units to have wall mounted drying cabinets fixed over washing machine in laundry

REFER TO TYPICAL UNIT LAYOUTS FOR POST-ADAPTABLE + FURNITURE LAYOUTS + FURTHER DETAILS

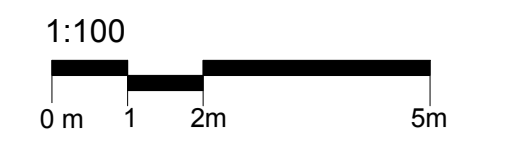
5 Level 1
1:100

13
DP9497

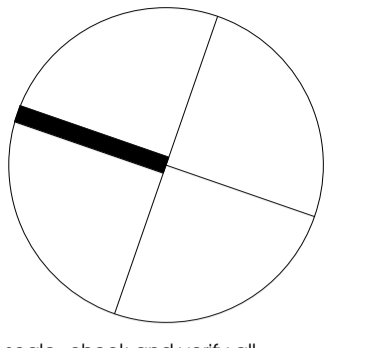
TWO STOREY
BRICK RESIDENCE
No. 5

9
DP9497

SINGLE STOREY
BRICK RESIDENCE
No. 13



True Northpoint



Do not scale, check and verify all dimensions before commencing new work. ground levels may vary due to site conditions.

Window Schedule

Window No.	Width	Height	Description
AW01	900	1500	AWNING
AW02	2400	900	AWNING / FIXED
AW03	900	2100	AWNING / FIXED + LOWLIGHT - 1 PANE
AW03a	900	1800	AWNING / FIXED + LOWLIGHT - 1 PANE
AW04	1800	1800	AWNING / FIXED + LOWLIGHT - 2 PANE
AW04a	1800	2400	AWNING / FIXED + LOWLIGHT - 2 PANE
AW04b	1800	2700	AWNING / FIXED + LOWLIGHT - 2 PANE
AW05	2400	2100	AWNING / FIXED + LOWLIGHT - 2 PANE
AW05b	2400	2700	AWNING / FIXED + LOWLIGHT - 2 PANE
FW01	1000	1800	FIXED
LW01	3000	1200	FIXED METAL LOUVRES
SD01	1800	2700	SLIDING DOOR - 2 PANEL
SD01a	1800	2400	SLIDING DOOR - 2 PANEL
SD02	2400	2700	SLIDING DOOR - 2 PANEL
SD02a	2400	2400	SLIDING DOOR - 2 PANEL
SD03	3600	2700	SLIDING DOOR - 3 PANEL
SD03a	3600	2400	SLIDING DOOR - 3 PANEL
SD04	4800	2400	SLIDING DOOR - 4 PANEL

WESTON STREET

PUBLIC RESERVE

ROOM LEGEND

- 1 Bed
- 1 Bed + Study
- 2 Bed
- 3 Bed
- 3 Bed + Study

Issue	Issue description	Date
E	Amended to address Council's letter	22-06-18
C	Development Application Issue	23-02-18
B	Prelim. Issue to Consultants	21-12-17

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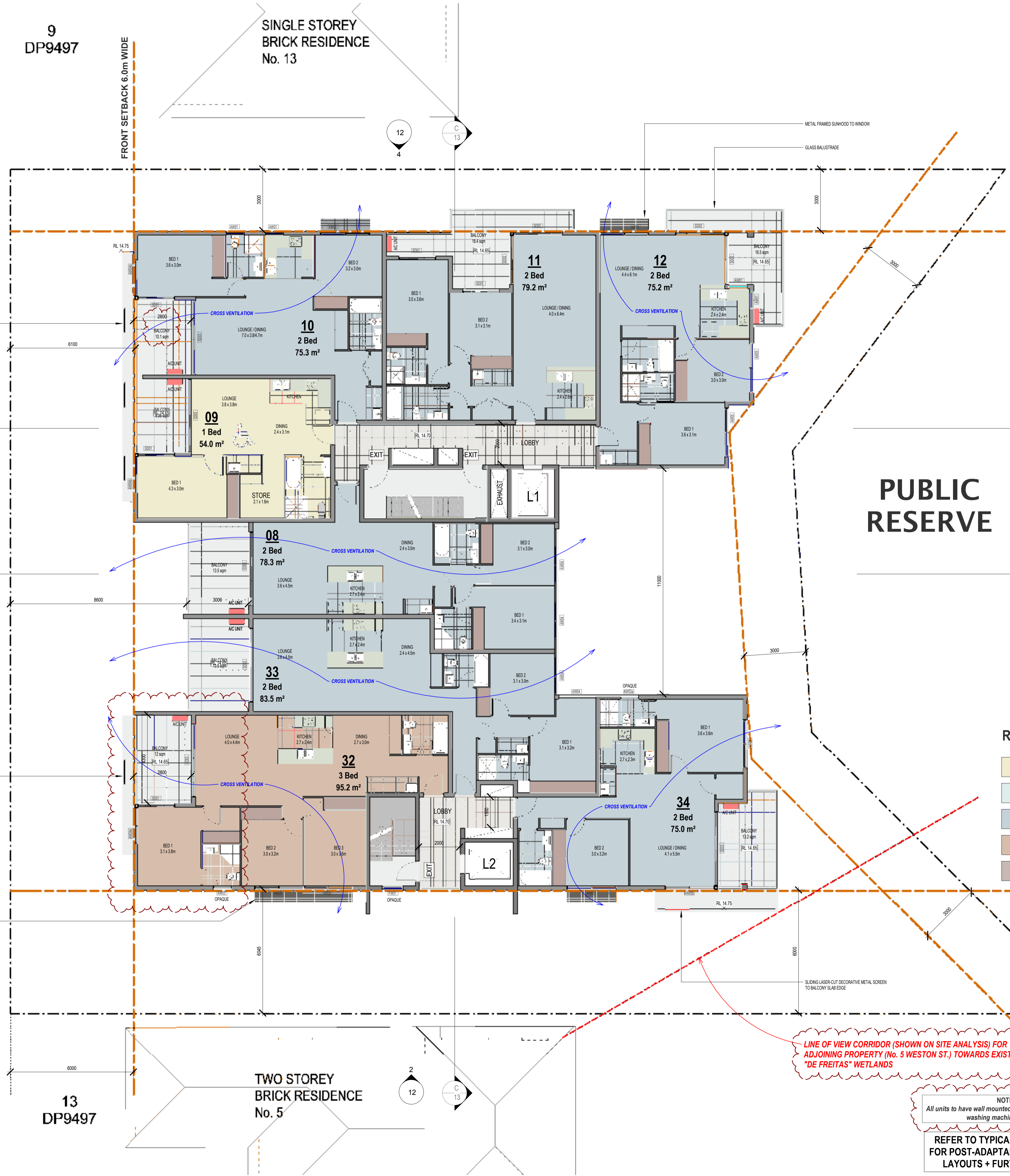
Project PROPOSED RESIDENTIAL APARTMENTS		
Project Address 7-11 Weston Street, Fairfield		
Client Sun Life Dior Pty. Ltd. ATF ATF Sun Life Dior Unit Trust		
Title Level 2		
Drawn PDP	Scale 1 : 100	Checked
Job No 2356	Drawing No. DA07	Issue E

DEVELOPMENT APPLICATION

LINE OF VIEW CORRIDOR (SHOWN ON SITE ANALYSIS) FOR ADJOINING PROPERTY (No. 5 WESTON ST.) TOWARDS EXIST. "DE FREITAS" WETLANDS

NOTE:
All units to have wall mounted drying cabinets fixed over washing machine in laundry

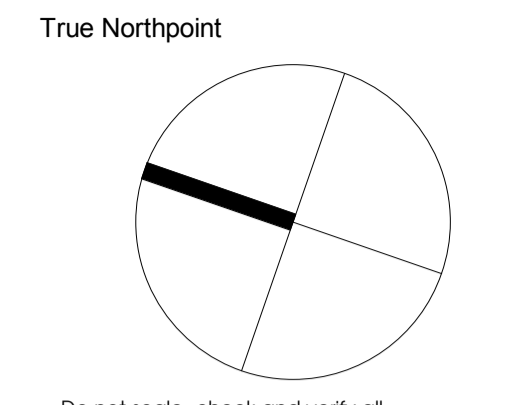
REFER TO TYPICAL UNIT LAYOUTS FOR POST-ADAPTABLE + FURNITURE LAYOUTS + FURTHER DETAILS



6 Level 2
1 : 100

13
DP9497

TWO STOREY
BRICK RESIDENCE
No. 5



Do not scale, check and verify all dimensions before commencing new work, ground levels may vary due to site conditions.

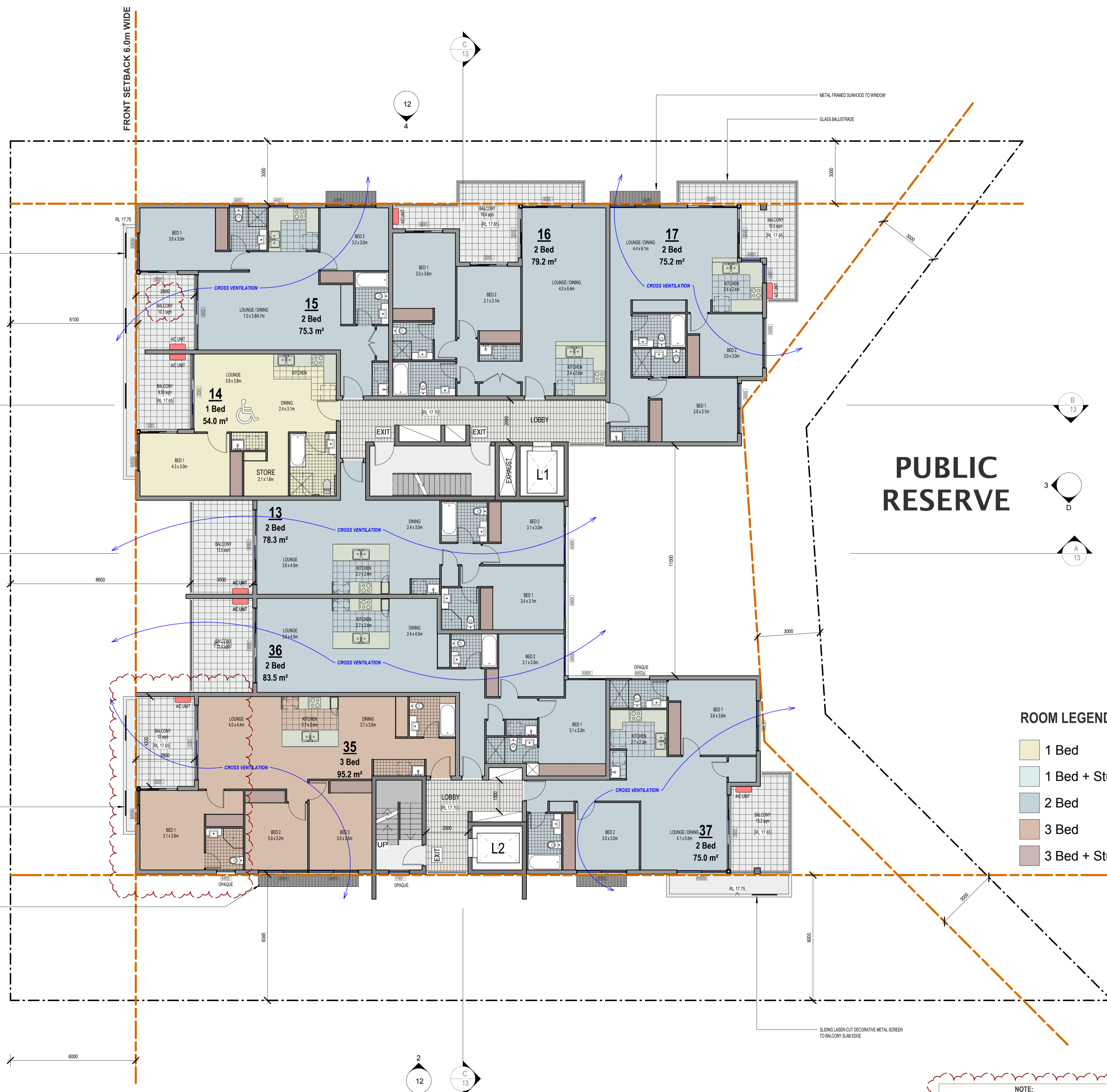
Window Schedule			
Window No.	Width	Height	Description
AW01	900	1500	AWNING
AW02	2400	900	AWNING / FIXED
AW03a	900	2100	AWNING / FIXED + LOWLIGHT - 1 PANE
AW03a	1800	1800	AWNING / FIXED + LOWLIGHT - 2 PANE
AW04a	1800	2400	AWNING / FIXED + LOWLIGHT - 2 PANE
AW04b	1800	2700	AWNING / FIXED + LOWLIGHT - 2 PANE
AW05	2400	2100	AWNING / FIXED + LOWLIGHT - 2 PANE
AW05b	2400	2700	AWNING / FIXED + LOWLIGHT - 2 PANE
FW01	1000	1800	FIXED
LW01	3000	1200	FIXED METAL LOUVRES
SD01	1800	2700	SLIDING DOOR - 2 PANEL
SD01a	1800	2400	SLIDING DOOR - 2 PANEL
SD02	2400	2700	SLIDING DOOR - 2 PANEL
SD02a	2400	2400	SLIDING DOOR - 2 PANEL
SD03	3600	2700	SLIDING DOOR - 3 PANEL
SD03a	3600	2400	SLIDING DOOR - 3 PANEL
SD04	4800	2400	SLIDING DOOR - 4 PANEL

Issue	Issue description	Date
E	Amended to address Council's letter	22-06-18
C	Development Application Issue	23-02-18
B	Prelim. Issue to Consultants	21-12-17

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Principal Architect: Robert Del Pizzo
NSW Reg. No. 3972

Project PROPOSED RESIDENTIAL APARTMENTS		
Project Address 7-11 Weston Street, Fairfield		
Client Sun Life Dior Pty. Ltd. ATF ATF Sun Life Dior Unit Trust		
Title Level 3		
Drawn PDP	Scale 1 : 100	Checked
Job No 2356	Drawing No. DA08	Issue E

WESTON STREET



ROOM LEGEND

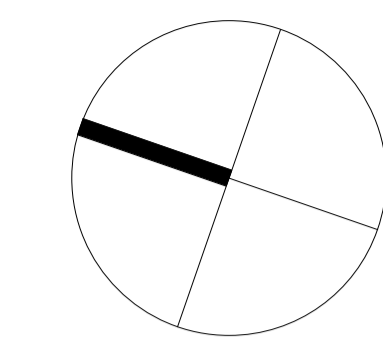
- 1 Bed
- 1 Bed + Study
- 2 Bed
- 3 Bed
- 3 Bed + Study

NOTE:
All units to have wall mounted drying cabinets fixed over washing machine in laundry

REFER TO TYPICAL UNIT LAYOUTS FOR POST-ADAPTABLE + FURNITURE LAYOUTS + FURTHER DETAILS

DEVELOPMENT APPLICATION

7 Level 3
1 : 100

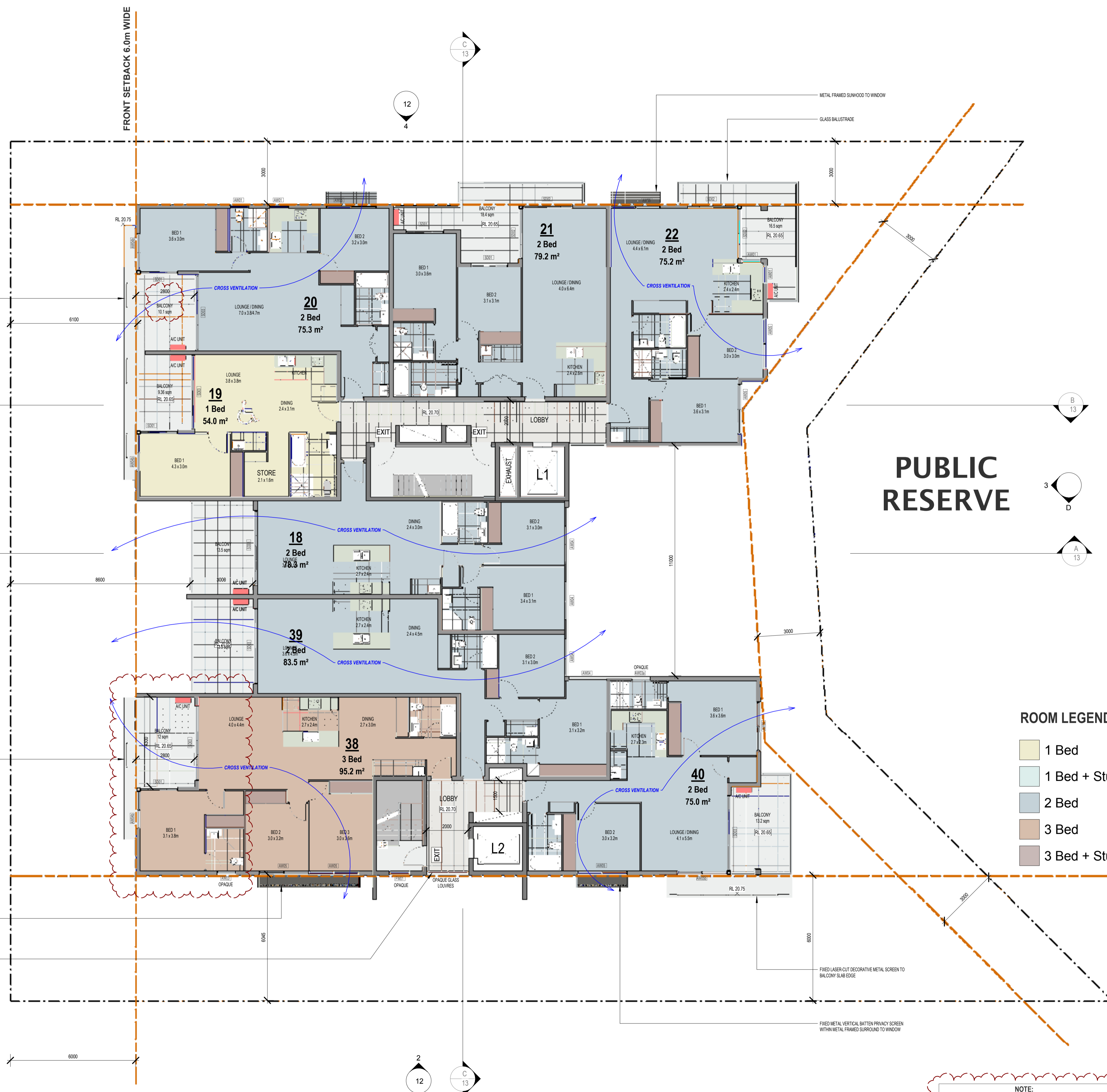


Do not scale, check and verify all dimensions before commencing new work. ground levels may vary due to site conditions.

Window Schedule

Window No.	Width	Height	Description
AW01	900	1500	AWNING
AW02	2400	900	AWNING / FIXED
AW03	900	2100	AWNING / FIXED + LOWLIGHT - 1 PANE
AW03a	900	1800	AWNING / FIXED + LOWLIGHT - 1 PANE
AW04	1800	1800	AWNING / FIXED + LOWLIGHT - 2 PANE
AW04a	1800	2400	AWNING / FIXED + LOWLIGHT - 2 PANE
AW04b	1800	2700	AWNING / FIXED + LOWLIGHT - 2 PANE
AW05	2400	2100	AWNING / FIXED + LOWLIGHT - 2 PANE
AW05b	2400	2700	AWNING / FIXED + LOWLIGHT - 2 PANE
FW01	1000	1800	FIXED
LW01	3000	1200	FIXED METAL LOUVRES
SD01	1800	2700	SLIDING DOOR - 2 PANEL
SD01a	1800	2400	SLIDING DOOR - 2 PANEL
SD02	2400	2700	SLIDING DOOR - 2 PANEL
SD02a	2400	2400	SLIDING DOOR - 2 PANEL
SD03	3600	2700	SLIDING DOOR - 3 PANEL
SD03a	3600	2400	SLIDING DOOR - 3 PANEL
SD04	4800	2400	SLIDING DOOR - 4 PANEL

WESTON STREET



PUBLIC RESERVE

ROOM LEGEND

- 1 Bed
- 1 Bed + Study
- 2 Bed
- 3 Bed
- 3 Bed + Study

NOTE:
All units to have wall mounted drying cabinets fixed over washing machine in laundry

REFER TO TYPICAL UNIT LAYOUTS FOR POST-ADAPTABLE + FURNITURE LAYOUTS + FURTHER DETAILS

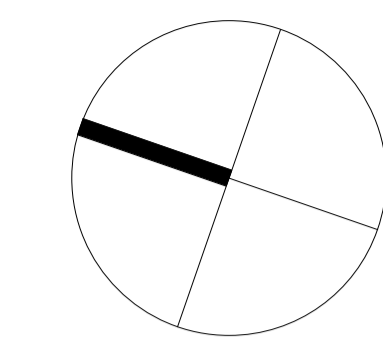
DEVELOPMENT APPLICATION

Issue	Issue description	Date
E	Amended to address Council's letter	22-06-18
C	Development Application Issue	23-02-18
B	Prelim. Issue to Consultants	21-12-17

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email@architex.com.au
www.architex.com.au

Project PROPOSED RESIDENTIAL APARTMENTS		
Project Address 7-11 Weston Street, Fairfield		
Client Sun Life Dior Pty. Ltd. ATF ATF Sun Life Dior Unit Trust		
Title Level 4		
Drawn PDP	Scale 1 : 100	Checked
Job No 2356	Drawing No. DA09	Issue E



Do not scale, check and verify all dimensions before commencing new work. Ground levels may vary due to site conditions.

Window Schedule

Window No.	Width	Height	Description
AW01	900	1500	AWNING
AW02	2400	900	AWNING / FIXED
AW03	900	2100	AWNING / FIXED + LOWLIGHT - 1 PANE
AW03a	900	1800	AWNING / FIXED + LOWLIGHT - 1 PANE
AW04	1800	1800	AWNING / FIXED + LOWLIGHT - 2 PANE
AW04a	1800	2400	AWNING / FIXED + LOWLIGHT - 2 PANE
AW04b	1800	2700	AWNING / FIXED + LOWLIGHT - 2 PANE
AW05	2400	2100	AWNING / FIXED + LOWLIGHT - 2 PANE
AW05b	2400	2700	AWNING / FIXED + LOWLIGHT - 2 PANE
FW01	1000	1800	FIXED
LW01	3000	1200	FIXED METAL LOUVRES
SD01	1800	2700	SLIDING DOOR - 2 PANEL
SD01a	1800	2400	SLIDING DOOR - 2 PANEL
SD02	2400	2700	SLIDING DOOR - 2 PANEL
SD02a	2400	2400	SLIDING DOOR - 2 PANEL
SD03	3600	2700	SLIDING DOOR - 3 PANEL
SD03a	3600	2400	SLIDING DOOR - 3 PANEL
SD04	4800	2400	SLIDING DOOR - 4 PANEL

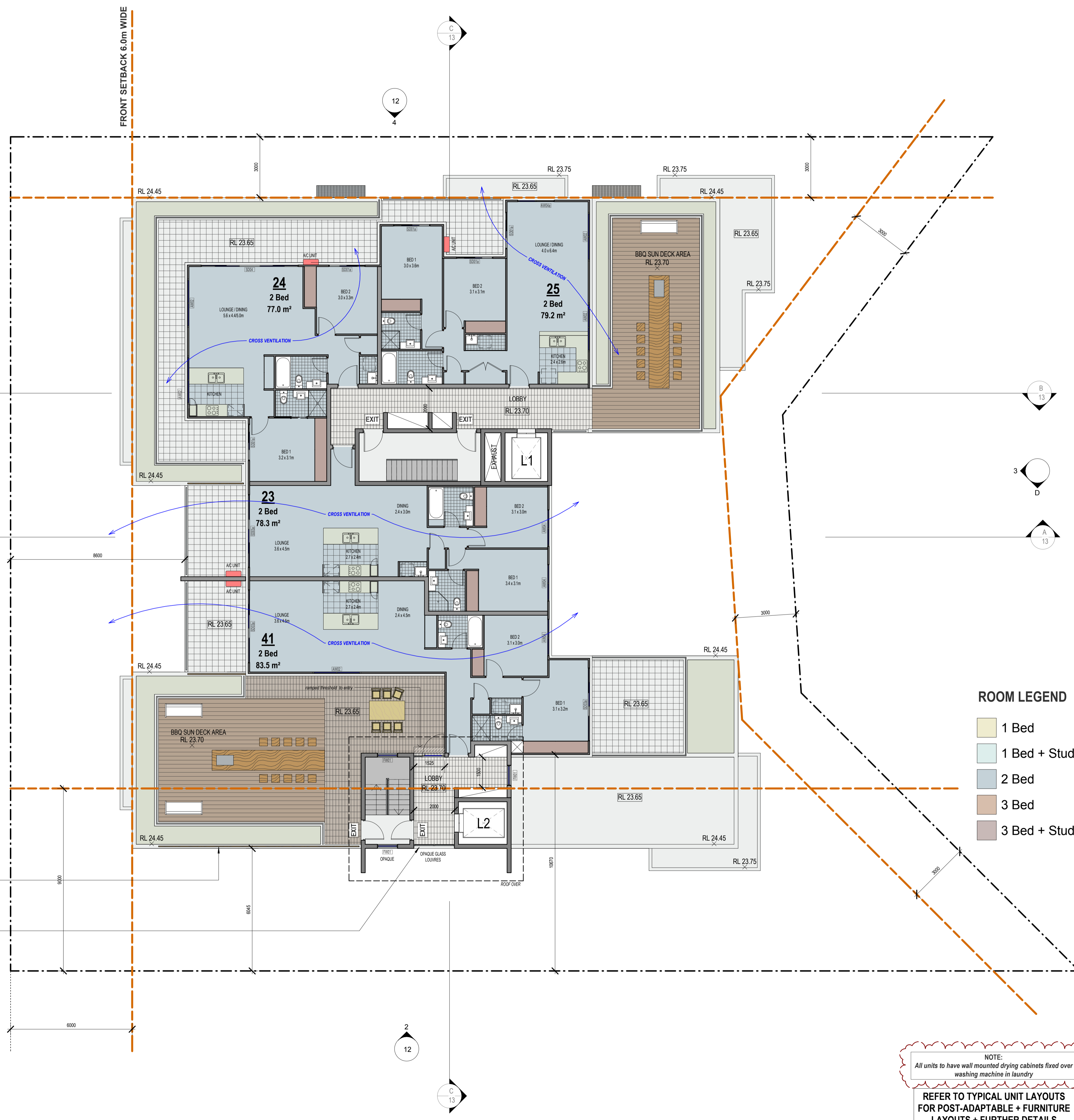
Issue	Issue description	Date
E	Amended to address Council's letter	22-06-18
C	Development Application Issue	23-02-18
B	Prelim. Issue to Consultants	21-12-17
A	Prelim. Issue to Client	29-11-17

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Project	PROPOSED RESIDENTIAL APARTMENTS				
Project Address	7-11 Weston Street, Fairfield				
Client	Sun Life Dior Pty. Ltd. ATF ATF Sun Life Dior Unit Trust				
Title	Level 5				
Drawn	PDP	Scale	1:100	Checked	
Job No	2356	Drawing No.	DA10	Issue	E

WESTON STREET



ROOM LEGEND

- 1 Bed
- 1 Bed + Study
- 2 Bed
- 3 Bed
- 3 Bed + Study

NOTE:
All units to have wall mounted drying cabinets fixed over washing machine in laundry

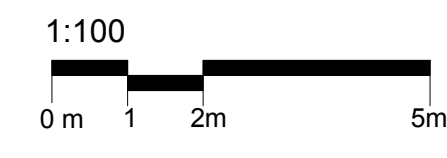
REFER TO TYPICAL UNIT LAYOUTS FOR POST-ADAPTABLE + FURNITURE LAYOUTS + FURTHER DETAILS

DEVELOPMENT APPLICATION

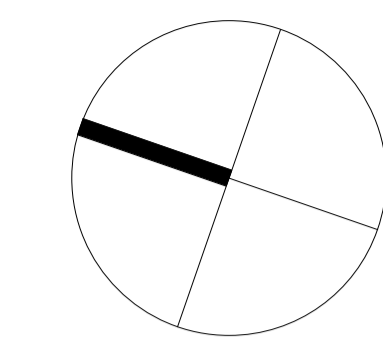
1.0m HIGH PRIVACY SCREEN AT TOP OF SOLID BALUSTRADE ALONG BOUNDARY SIDE OF COMMON AREA

1.8m HIGH FIXED OPAQUE GLASS WITH OPERABLE GLASS LOUVRES HIGH LIGHT TO COMMON LOBBY WINDOW

9 Level 5
1:100



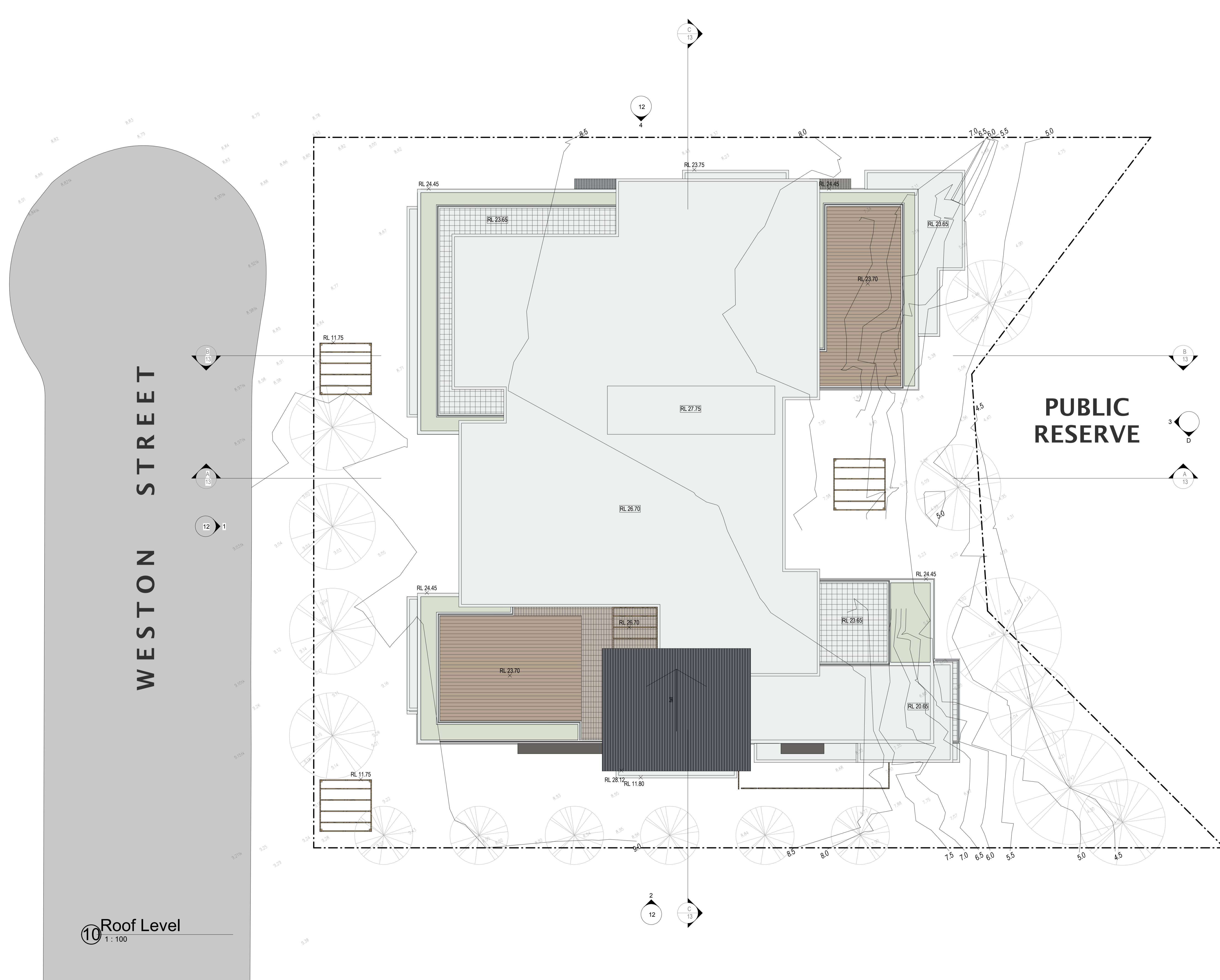
True Northpoint



Do not scale, check and verify all dimensions before commencing new work. Ground levels may vary due to site conditions.

WESTON STREET

PUBLIC RESERVE



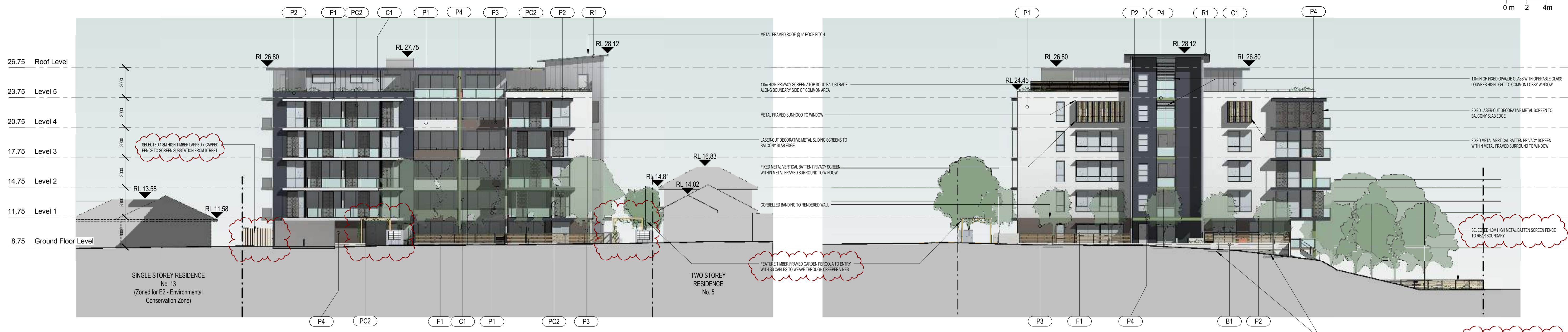
10 Roof Level
1 : 100

Issue	Issue description	Date
C	Development Application Issue	23-02-18
B	Prelim. Issue to Consultants	21-12-17
A	Prelim. Issue to Client	29-11-17

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 Principal Architect: Robert Del Pizzo
 NSW Reg. No. 3972

Project PROPOSED RESIDENTIAL APARTMENTS		
Project Address 7-11 Weston Street, Fairfield		
Client Sun Life Dior Pty. Ltd. ATF ATF Sun Life Dior Unit Trust		
Title Roof Level		
Drawn PDP	Scale 1 : 100	Checked
Job No 2356	Drawing No. DA11	Issue C

DEVELOPMENT APPLICATION

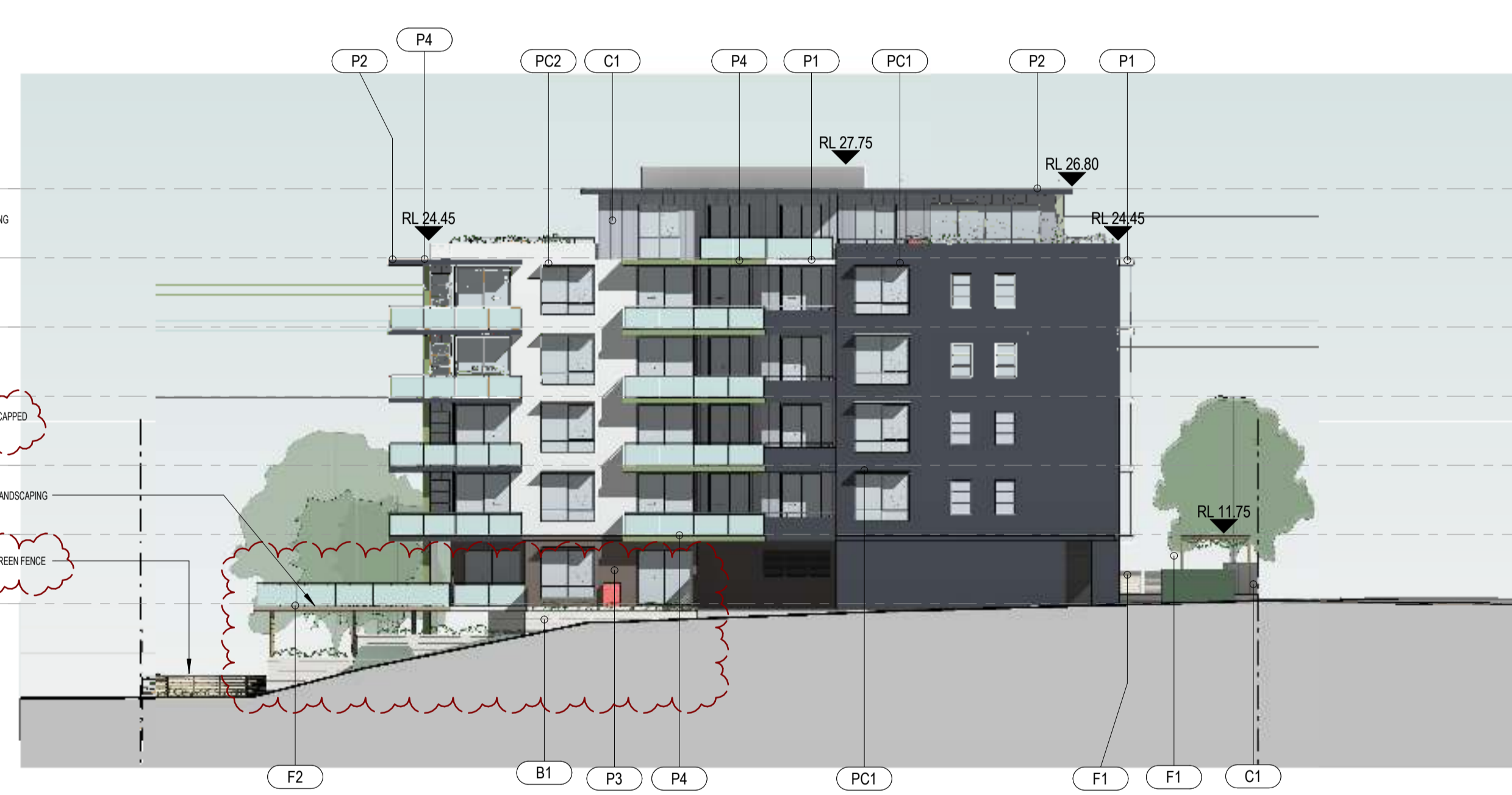


① North Elevation - Weston Street
1: 200

② West Elevation
1: 200



③ South Elevation
1: 200



④ East Elevation
1: 200

Issue	Issue description	Date
E	Amended to address Council's letter	22-06-18
C	Development Application Issue	23-02-18
B	Prelim. Issue to Consultants	21-12-17
A	Prelim. Issue to Client	29-11-17

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 email@architex.com.au
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Project
 PROPOSED RESIDENTIAL APARTMENTS

Project Address
 7-11 Weston Street, Fairfield

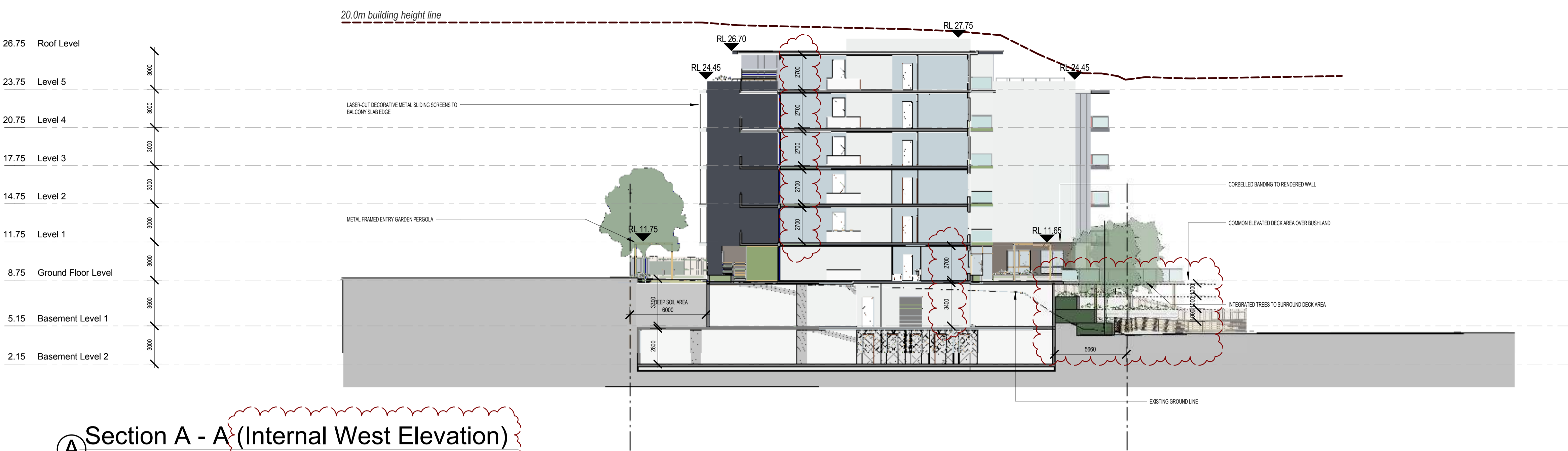
Client
 Sun Life Dior Pty. Ltd. ATF
 ATF Sun Life Dior Unit Trust

Title
 Site Elevations

DEVELOPMENT APPLICATION

Code	Application	Manufacturer	Colour	Product ID / Description	Sample
P1	Paint No. 1	Texas	White	301 02	[Sample]
P2	Paint No. 2	Texas	Black	302 01	[Sample]
P3	Paint No. 3	Kolor	Grey	303 01	[Sample]
P4	Paint No. 4	Texas	Dark Grey	304 01	[Sample]
C1	180° Cladding 1	James Hardie	Dark Grey	419522 - 250mm Wide 180mm High	[Sample]
B1	Roof Cladding 1	Colorbond	Dark Grey	180mm High	[Sample]
PC1	180° Cladding 2	James Hardie	Dark Grey	419522 - 250mm Wide 180mm High	[Sample]
PC2	180° Cladding 3	James Hardie	Dark Grey	419522 - 250mm Wide 180mm High	[Sample]
F1	Paint No. 5	Absolon	Dark Grey	305 01	[Sample]
F2	Paint No. 6	Absolon	Dark Grey	306 01	[Sample]
B2	Roof Cladding 2	Colorbond	Dark Grey	180mm High	[Sample]
B3	Roof Cladding 3	Colorbond	Dark Grey	180mm High	[Sample]
B4	Roof Cladding 4	Colorbond	Dark Grey	180mm High	[Sample]
B5	Roof Cladding 5	Colorbond	Dark Grey	180mm High	[Sample]
B6	Roof Cladding 6	Colorbond	Dark Grey	180mm High	[Sample]
B7	Roof Cladding 7	Colorbond	Dark Grey	180mm High	[Sample]
B8	Roof Cladding 8	Colorbond	Dark Grey	180mm High	[Sample]
B9	Roof Cladding 9	Colorbond	Dark Grey	180mm High	[Sample]
B10	Roof Cladding 10	Colorbond	Dark Grey	180mm High	[Sample]
B11	Roof Cladding 11	Colorbond	Dark Grey	180mm High	[Sample]
B12	Roof Cladding 12	Colorbond	Dark Grey	180mm High	[Sample]
B13	Roof Cladding 13	Colorbond	Dark Grey	180mm High	[Sample]
B14	Roof Cladding 14	Colorbond	Dark Grey	180mm High	[Sample]
B15	Roof Cladding 15	Colorbond	Dark Grey	180mm High	[Sample]
B16	Roof Cladding 16	Colorbond	Dark Grey	180mm High	[Sample]
B17	Roof Cladding 17	Colorbond	Dark Grey	180mm High	[Sample]
B18	Roof Cladding 18	Colorbond	Dark Grey	180mm High	[Sample]
B19	Roof Cladding 19	Colorbond	Dark Grey	180mm High	[Sample]
B20	Roof Cladding 20	Colorbond	Dark Grey	180mm High	[Sample]
B21	Roof Cladding 21	Colorbond	Dark Grey	180mm High	[Sample]
B22	Roof Cladding 22	Colorbond	Dark Grey	180mm High	[Sample]
B23	Roof Cladding 23	Colorbond	Dark Grey	180mm High	[Sample]
B24	Roof Cladding 24	Colorbond	Dark Grey	180mm High	[Sample]
B25	Roof Cladding 25	Colorbond	Dark Grey	180mm High	[Sample]
B26	Roof Cladding 26	Colorbond	Dark Grey	180mm High	[Sample]
B27	Roof Cladding 27	Colorbond	Dark Grey	180mm High	[Sample]
B28	Roof Cladding 28	Colorbond	Dark Grey	180mm High	[Sample]
B29	Roof Cladding 29	Colorbond	Dark Grey	180mm High	[Sample]
B30	Roof Cladding 30	Colorbond	Dark Grey	180mm High	[Sample]
B31	Roof Cladding 31	Colorbond	Dark Grey	180mm High	[Sample]
B32	Roof Cladding 32	Colorbond	Dark Grey	180mm High	[Sample]
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B34	Roof Cladding 34	Colorbond	Dark Grey	180mm High	[Sample]
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B36	Roof Cladding 36	Colorbond	Dark Grey	180mm High	[Sample]
B37	Roof Cladding 37	Colorbond	Dark Grey	180mm High	[Sample]
B38	Roof Cladding 38	Colorbond	Dark Grey	180mm High	[Sample]
B39	Roof Cladding 39	Colorbond	Dark Grey	180mm High	[Sample]
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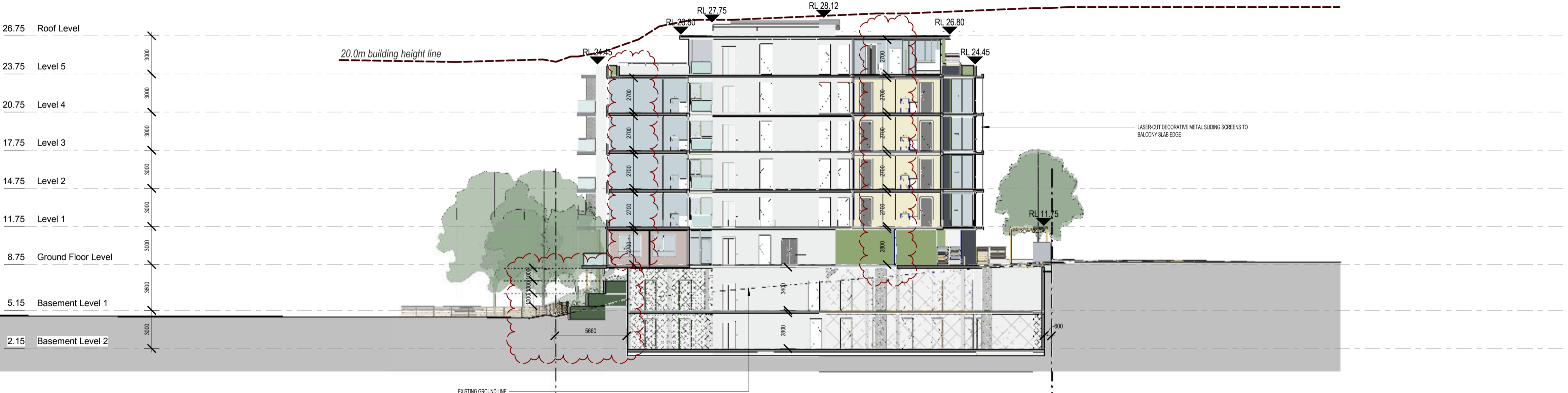
Drawn	Scale	Checked
PDP	1: 200	
Job No	Drawing No.	Issue
2356	DA12	E



A Section A - A (Internal West Elevation)
1 : 200



Code	Application	Manufacturer	Trade	Product ID / Description	Sample
P1	Floor Finish 1	Grulac	Limestone	1500 G2	
P2	Floor Finish 2	Therex	stone	90107	
P3	Floor Finish 3	Grulac	Porphyry	303 AG	
P4	Floor Finish 4	Grulac	Limestone	303 L4	
C1	Wall Cladding 1	James Hardie	Super 90 cladding	484522 230mm wide soffit	
R1	Roof Cladding 1	Cumbrus	Culture Cladding	Ironstone	
PC1	Window Frame / Substrate	Exxon Duralum	Blacky Old Star panel	09470240	
PC2	Window Frame / Glass	Exxon Duralum	Star Timberline Series	06073125	
W1	Window / Glazing Frame	Aluminox	Window	Customise on site	
W2	Window Cladding	James Hardie	Hardiback	Medium Timber Finish	
R2	Roofing Panel	Roof	Self Face Design Block	165mm series	



B Section B - B
1 : 200

ROOM LEGEND

- 1 Bed
- 1 Bed + Study
- 2 Bed
- 3 Bed
- 3 Bed + Study

Issue	Issue description	Date
E	Amended to address Council's letter	22-06-18
D	Parking reduced in accordance with Part 3 of the ADG	11-05-18
C	Development Application Issue	23-02-18
B	Prelim. Issue to Consultants	21-12-17
A	Prelim. Issue to Client	28-11-17



C Section C - C
1 : 200



D Internal East Elevation
1 : 200

DEVELOPMENT APPLICATION

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 Principal Architect: Robert Del Pizzo
NSW Reg. No. 3972

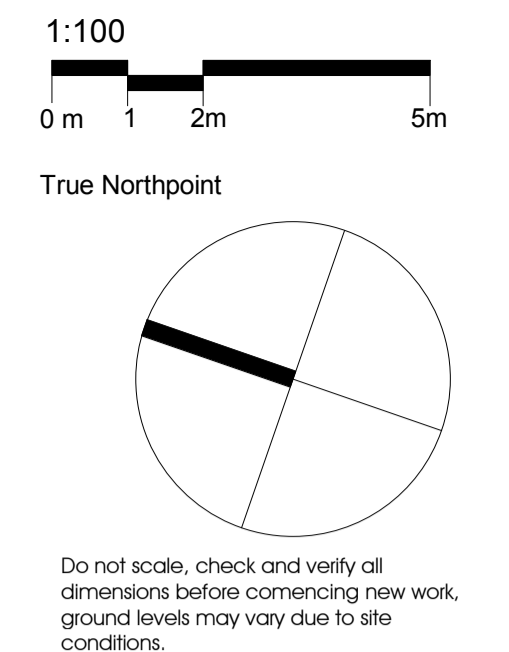
Project PROPOSED RESIDENTIAL APARTMENTS		
Project Address 7-11 Weston Street, Fairfield		
Client Sun Life Dior Pty. Ltd. ATF ATF Sun Life Dior Unit Trust		
Title Site Sections		
Drawn PDP	Scale 1 : 200	Checked
Job No 2356	Drawing No. DA13	Issue E



1 Typical Floor Level
1 : 100

Room Schedule

Unit No.	No. of Bedrooms	Post - Adaptable	Unit Area	Balc / Courtyard Area	Internal Storage Volume	Basement Storage No.	Basement Storage Volume
01	2 Bed	No	80.3 m ²	25.8 m ²	4.0 m ³	S41	10.9 m ³
02	3 Bed + Study	No	97.8 m ²	36.4 m ²	14.8 m ³	S40	8.8 m ³
03	2 Bed	No	78.3 m ²	13.5 m ²	4.2 m ³	S39	9.7 m ³
04	1 Bed	Yes	54.0 m ²	9.3 m ²	11.0 m ³	S36	7.7 m ³
05	2 Bed	No	75.3 m ²	10.1 m ²	5.7 m ³	S38	6.9 m ³
06	2 Bed	No	79.2 m ²	18.4 m ²	6.2 m ³	S37	7.8 m ³
07	2 Bed	No	75.2 m ²	16.5 m ²	5.0 m ³	S35	7.7 m ³
08	2 Bed	No	78.3 m ²	13.5 m ²	4.2 m ³	S34	7.7 m ³
09	1 Bed	Yes	54.0 m ²	9.4 m ²	11.0 m ³	S28	9.7 m ³
10	2 Bed	No	75.3 m ²	10.0 m ²	5.7 m ³	S33	7.7 m ³
11	2 Bed	No	79.2 m ²	18.4 m ²	6.2 m ³	S32	7.7 m ³
12	2 Bed	No	75.2 m ²	16.5 m ²	5.0 m ³	S31	7.8 m ³
13	2 Bed	No	78.3 m ²	13.5 m ²	4.2 m ³	S30	10.9 m ³
14	1 Bed	Yes	54.0 m ²	9.4 m ²	11.0 m ³	S27	8.0 m ³
15	2 Bed	No	75.3 m ²	10.0 m ²	5.7 m ³	S29	8.8 m ³
16	2 Bed	No	79.2 m ²	18.4 m ²	6.2 m ³	S26	7.8 m ³
17	2 Bed	No	75.2 m ²	16.5 m ²	5.0 m ³	S25	7.7 m ³
18	2 Bed	No	78.3 m ²	13.5 m ²	4.2 m ³	S24	7.7 m ³
19	1 Bed	Yes	54.0 m ²	9.4 m ²	11.0 m ³	S13	6.3 m ³
20	2 Bed	No	75.3 m ²	10.0 m ²	5.7 m ³	S23	7.7 m ³
21	2 Bed	No	79.2 m ²	18.4 m ²	6.2 m ³	S22	7.7 m ³
22	2 Bed	No	75.2 m ²	16.5 m ²	5.0 m ³	S21	7.7 m ³
23	2 Bed	No	78.3 m ²	10.0 m ²	4.2 m ³	S20	7.8 m ³
24	2 Bed	No	77.0 m ²	75.8 m ²	4.2 m ³	S19	8.0 m ³
25	2 Bed	No	79.2 m ²	13.1 m ²	6.2 m ³	S18	8.0 m ³
26	3 Bed	No	95.2 m ²	51.2 m ²	7.3 m ³	S17	8.1 m ³
27	1 Bed + Study	No	66.8 m ²	25.8 m ²	12.7 m ³	S05	5.4 m ³
28	1 Bed	Yes	55.5 m ²	39.2 m ²	4.2 m ³	S14	6.5 m ³
29	3 Bed	No	95.2 m ²	12.0 m ²	7.3 m ³	S16	6.4 m ³
30	2 Bed	No	83.5 m ²	13.5 m ²	4.2 m ³	S15	6.5 m ³
31	2 Bed	No	75.0 m ²	13.2 m ²	5.9 m ³	S12	6.3 m ³
32	3 Bed	No	95.2 m ²	12.0 m ²	7.3 m ³	S11	6.3 m ³
33	2 Bed	No	83.5 m ²	13.5 m ²	4.2 m ³	S10	6.3 m ³
34	2 Bed	No	75.0 m ²	13.2 m ²	5.9 m ³	S09	6.3 m ³
35	3 Bed	No	95.2 m ²	12.0 m ²	7.3 m ³	S08	5.4 m ³
36	2 Bed	No	83.5 m ²	13.5 m ²	4.2 m ³	S07	5.4 m ³
37	2 Bed	No	75.0 m ²	13.2 m ²	5.9 m ³	S06	5.4 m ³
38	3 Bed	No	95.2 m ²	12.0 m ²	7.3 m ³	S04	5.4 m ³
39	2 Bed	No	83.5 m ²	13.5 m ²	4.2 m ³	S03	5.0 m ³
40	2 Bed	No	75.0 m ²	13.2 m ²	5.9 m ³	S02	5.0 m ³
41	2 Bed	No	83.5 m ²	49.5 m ²	4.2 m ³	S01	5.0 m ³



THIS DRAWING IS TO BE READ IN CONJUNCTION WITH AS1482.1 - 2009 DESIGN FOR ACCESS AND MOBILITY

APARTMENT NOTES (RESIDENTIAL & SERVICED) ACCESSIBLE WCs / SHOWERS WILL REQUIRE:

- ENSURE THE PAN SEAT TO HAVE 30% LUMINANCE CONTRAST AGAINST BACKGROUND TILE/FLOOR SURFACE.
- LEVER CONTROLS FOR SHOWER AND BASIN BASIN LEVER TO BE NO GREATER THAN 300mm FROM FRONT OF TAPS.
- 1 x CLOTHING HANGING DEVICE TO BE INSTALLED BETWEEN 1200mm - 1500mm FROM FFL AND AT LEAST 50mm FROM AN INTERNAL CORNER FOR WC.
- DOOR TO INCLUDE AN IN-USE INDICATOR AND A BELLY CATCHER THAT CAN BE OPENED FROM OUTSIDE IN AN EMERGENCY. IF SWIRL TURN IS USED THE HANDLE IS TO 45mm FROM CENTRE.
- DOOR OPERATION TO BE LIGHTWEIGHT.
- LIGHT SWITCHES TO BE INSTALLED BETWEEN 900 - 1100mm ABOVE FFL AND 500mm MINIMUM FROM INTERNAL CORNER.
- GPOs TO BE INSTALLED BETWEEN 600 - 1100mm ABOVE FFL AND 500mm MINIMUM FROM INTERNAL CORNER.
- ROCKER ACTION TOGGLE TYPE SWITCHES AT LEAST 30 x 30mm DIMENSIONS ARE REQUIRED TO ASSIST PEOPLE WITH KEYSIGHT IMPAIRMENT.
- ENSURE ALL ACCESSIBLE SHOWERS HAVE SHOWER RAIL / CURTAIN INSTALLED.
- ENSURE HEIGHT OF THE HOSE WALL OUTLET TO BE 700mm HEIGHT ABOVE FFL COMPLIANT WITH AS429.1 - 1648 TO ENSURE SATISFACTION HOSE LENGTH WHEN SHOWERING. TO ALSO INCLUDE STRIKE BACK FLOW PREVENTION DEVICE.
- SUPPLY PRESSURE OF FLOORS TO HAVE MINIMUM CLASS 'X' RATING.

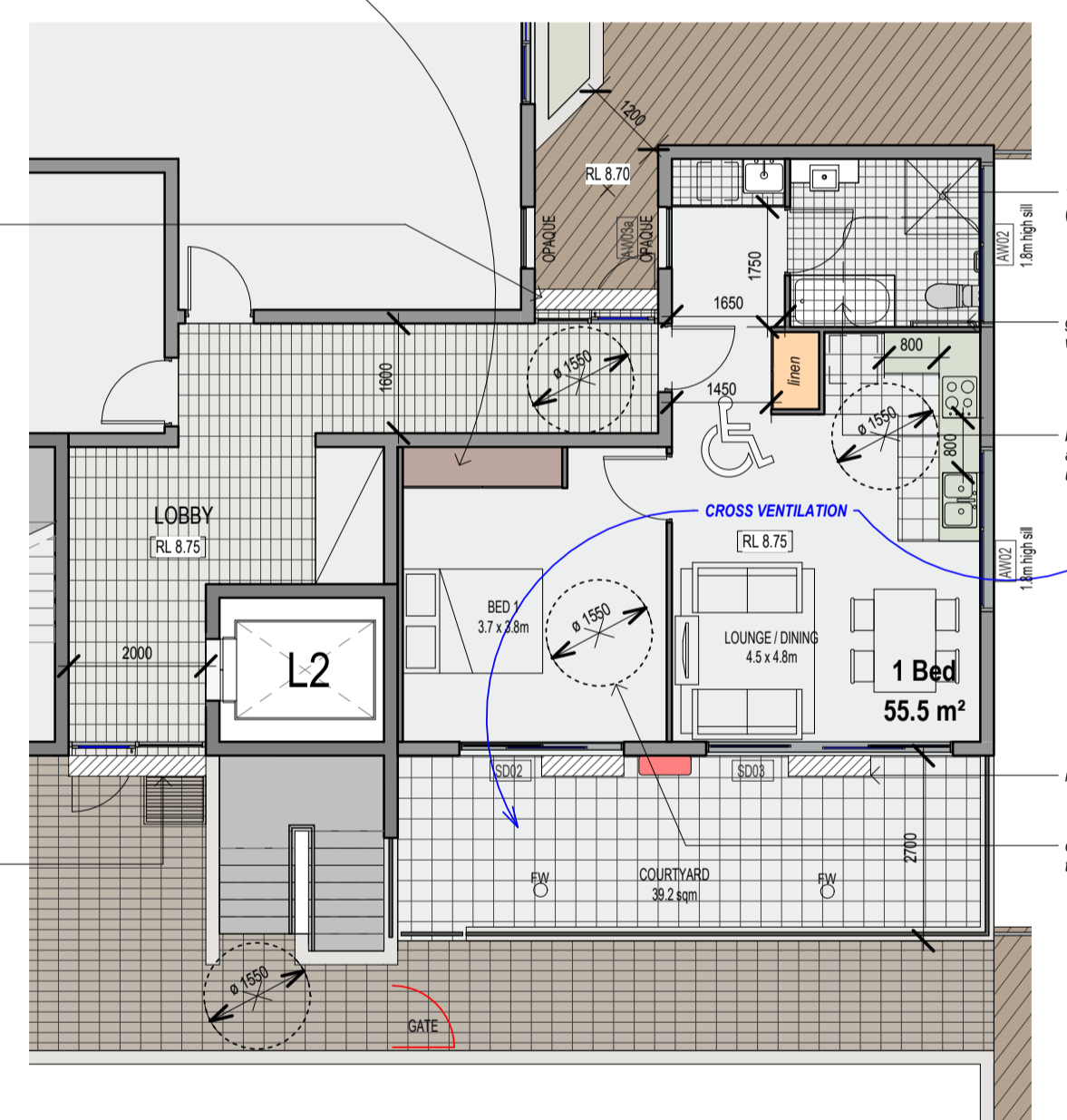
GENERAL NOTES:

- PROVIDE DOOR PEELHOLE AT 1200mm ABOVE FFL.
- SLIP RESISTANCE OF FLOORS TO HAVE MINIMUM CLASS 'X' RATING TO BATHROOM, KITCHEN/TILE, LAUNDRY AND BALCONY AS REQUIRED IN AS429.1 CLAUSE 4.5.4.
- AT LEAST ONE GPO IN EACH KEY ROOM AREA TO BE INSTALLED BETWEEN 900 - 1100mm ABOVE FFL AND 500mm MINIMUM FROM CORNER.
- PROVIDE 1 x DOUBLE GPO WITH 300mm OF FRONT OF KITCHEN WORK SURFACE. TO BE REACHABLE BY A PERSON USING A WHEELCHAIR.
- ALL LIGHT SWITCHES TO BE INSTALLED BETWEEN 900 - 1100mm ABOVE FFL & 500mm MINIMUM FROM INTERNAL CORNER.

- ALL OTHER ELECTRICAL CONTROLS TO KEY FEATURES (EG. INTERCOM, SECURITY SWIRP, AC UNIT SAFE SOUND SYSTEM ETC) TO BE INSTALLED WITH OPERATING PART BETWEEN 900 - 1500mm ABOVE FFL AND 500mm MINIMUM FROM INTERNAL CORNER.
- PROVIDE 1 x DOUBLE GPO/SCISSOR ADAPTABLE UNIT BATHROOM MIRROR AND ALSO WITHIN LAUNDRY IN ACCORDANCE WITH AS429.
- ENSURE ANY PARTITION WALLS / FIXTURES TO BE RELOCATED / REMOVED AT POST ADAPTATION. DO NOT HAVE ANY ELECTRICAL / GAS OR PLUMBING SERVICES INSTALLED AT PRE-ADAPTATION FOR EASE OF ADAPTATION IN ACCORDANCE WITH AS429.
- PROVIDE EXTRA CAPPED OFF SERVICES WITH SUITABLE SET OUTS AND CLEARANCES TO ALLOW FOR RELOCATION OF FIXTURES IN POST ADAPTATION LOCATIONS. COMPLIANT WITH AS1482.1.

- WALL STRENGTHENING AROUND PAN, SHOWER AND BATH AND WATERPROOFING OF WALLS TO BE PROVIDED AT PRE-ADAPTATION STAGE IN ACCORDANCE WITH AS429.1 CLAUSE 4.4.8. WHERE APPLICABLE, ENSURE CARRY PILE HEIGHT IS NO MORE THAN 15mm WITH AREA MAXIMUM BACKING SURFACE (COMPLIANT WITH OMA PRESSES STANDARDS).

NOTE:
All units to have wall mounted drying cabinets fixed over washing machine in laundry



2 Post-Adaptable Layout - Ground Floor Level
1 : 100

General Notes

- 35mm ramped threshold to ramped threshold to external sliding doors
- all floor surfaces to be slip resistant in accordance with AS/NZS 3661.1
- door openings to be positioned in wall to allow circulation adjacent to the doorway in accordance with AS1428.1-2009

Electrical Notes

- Hot Water System to deliver hot water at a maximum of 50% in accordance with AS4299
- allow for illumination levels in accordance with AS4299
- switch & power points to be located in accordance with AS4299
- a telephone outlet to be provided in the lounge/dining area adjacent to a G.P.O.

Laundry Notes

- laundry tub dimension & height to comply with AS 4299
- taps to be provided at side of laundry tub
- provide a double G.P.O.
- all units to have wall mounted drying cabinets

Bathroom Notes

- select slip resistant ceramic floor tiles laid to fall on screed, provide waterproof membrane in accordance with AS 3740 1994
- taps set to be capstan or lever handles with single outlet
- locate toilet paper holder in accordance with AS 1428.1-2009
- accessible toilet in accordance with AS 1428.1-2009
- provide for adjustable, detachable hand held shower rose mounted on a slider grab rail. Clearance & heights to be in accordance with AS 1428.1-2009
- vanity clearance to comply with AS 1428.1-2009

Kitchen Notes

- kitchen sink bowl to be 150mm deep maximum
- sink & adjacent work space to be adjustable in height (750-850mm) or replaceable
- install floor/wall tiling under & behind removable/adjustable kitchen benches
- benches shall be capstan or lever handles or lever mix
- cook tops to include either front or side controls with raised cross bars
- cook tops to include isolating switch
- tap set to be located 300mm in front of sink

Issue	Issue description	Date
E	Amended to address Council's letter	22-06-18
D	Parking reduced in accordance with Part 3.1 of the ADG	11-05-18
C	Development Application Issue	23-02-18
B	Prelim. Issue to Consultants	21-12-17

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Level 3, 7K Parkes Street
Parramatta NSW 2150
Principal Architect: Robert Del Pizzo
NSW Reg. No. 3972

Project
PROPOSED RESIDENTIAL APARTMENTS

Project Address
7-11 Weston Street, Fairfield

Client
Sun Life Dior Pty. Ltd. ATF
ATF Sun Life Dior Unit Trust

Title
Typical Unit Layouts

Drawn	Scale	Checked
PDP	1 : 100	
Job No	Drawing No.	Issue
2356	DA14	E

TOTAL NUMBER OF ADAPTABLE UNITS = 5 (12%)

CROSS VENTILATED UNITS : 32 units out of 41 units (78%)

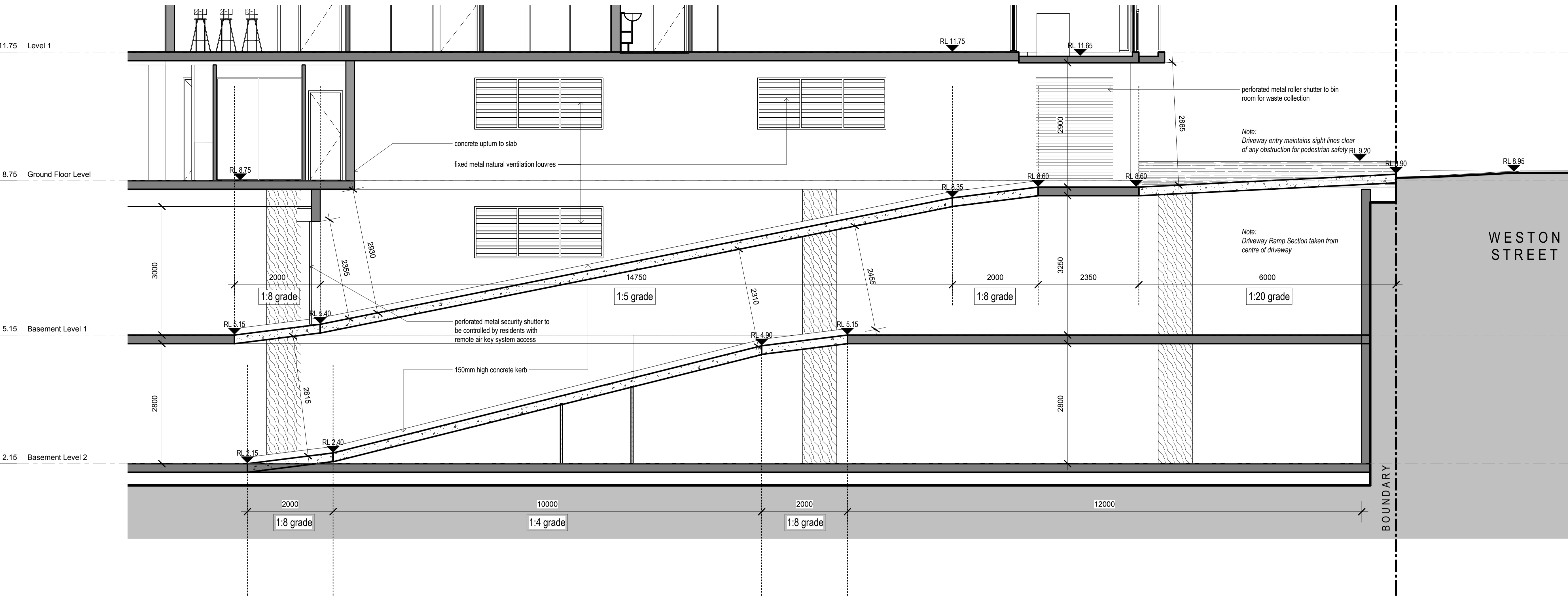
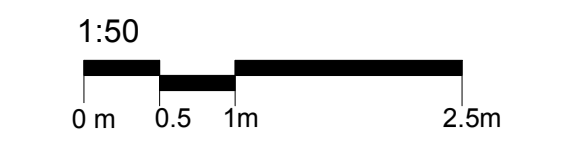
TOTAL NUMBER OF EXTERNAL KITCHENS = 11 (27%)

INDICATES CALCULATED INTERNAL UNIT STORAGE AREA

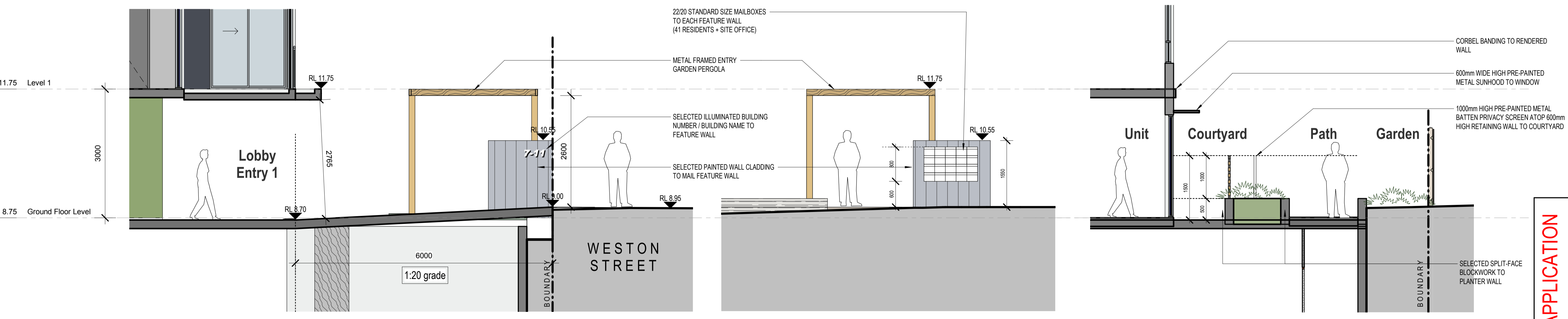
Window Schedule

Window No.	Width	Height	Description
AW01	900	1500	AWNING
AW02	2400	900	AWNING / FIXED
AW03	900	2100	AWNING / FIXED + LOWLIGHT - 1 PANE
AW03a	900	1800	AWNING / FIXED + LOWLIGHT - 1 PANE
AW04	1800	1800	AWNING / FIXED + LOWLIGHT - 2 PANE
AW04a	1800	2400	AWNING / FIXED + LOWLIGHT - 2 PANE
AW04b	1800	2700	AWNING / FIXED + LOWLIGHT - 2 PANE
AW05	2400	2100	AWNING / FIXED + LOWLIGHT - 2 PANE
AW05b	2400	2700	AWNING / FIXED + LOWLIGHT - 2 PANE
FW01	1000	1800	FIXED
LW01	3000	1200	FIXED METAL LOUVRES
SD01	1800	2700	SLIDING DOOR - 2 PANEL
SD01a	1800	2400	SLIDING DOOR - 2 PANEL
SD02	2400	2700	SLIDING DOOR - 2 PANEL
SD02a	2400	2400	SLIDING DOOR - 2 PANEL
SD03	3600	2700	SLIDING DOOR - 3 PANEL
SD03a	3600	2400	SLIDING DOOR - 3 PANEL
SD04	4800	2400	SLIDING DOOR - 4 PANEL

DEVELOPMENT APPLICATION



Section thru Driveway
1 : 50



1 Entry Section Detail
1 : 50

2 Typical Mail Wall / Entry Detail
1 : 50

3 Courtyard Fence Detail
1 : 50

REFER TO TRAFFIC REPORT FOR FURTHER DETAILS

Issue	Issue description	Date
E	Amended to address Council's letter	22-06-18
D	Parking reduced in accordance with Part 3.1 of the ADG	11-05-18
C	Development Application Issue	23-02-18
B	Prelim. Issue to Consultants	21-12-17

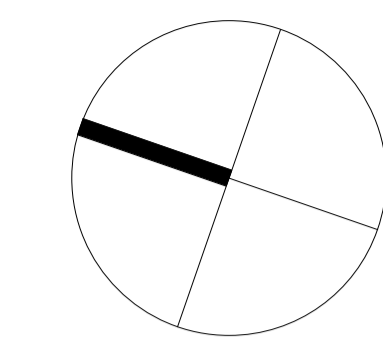
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 c/n 32 003 315 142
 Level 3, 7K Parkes Street
 Parramatta NSW 2150
 Principal Architect: Robert Del Pizzo
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Project
 PROPOSED RESIDENTIAL APARTMENTS
Project Address
 7-11 Weston Street, Fairfield
Client
 Sun Life Dior Pty. Ltd. ATF
 ATF Sun Life Dior Unit Trust

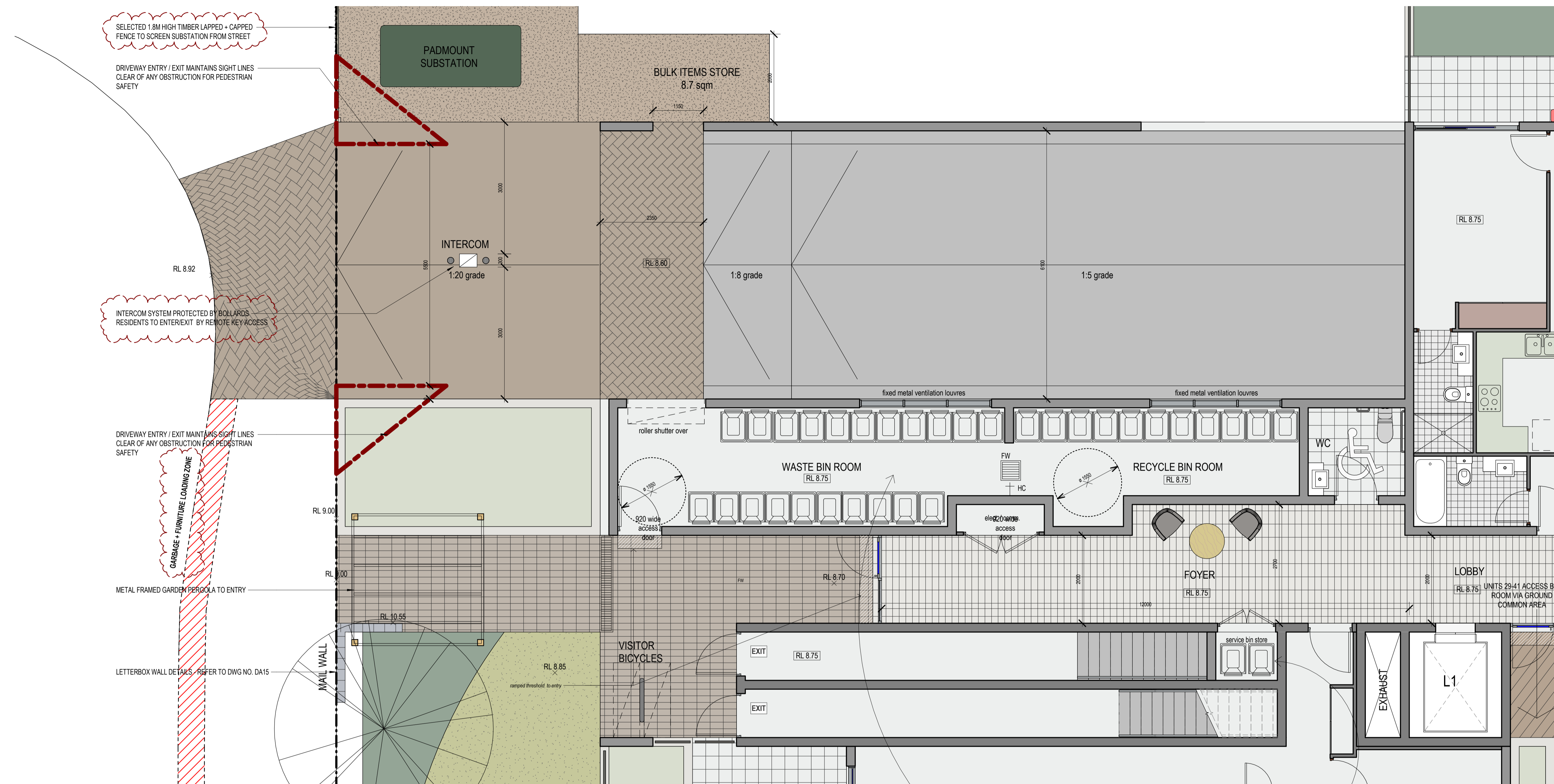
Title
 Site Details
Drawn
 PDP
Job No
 2356
Scale
 1 : 50
Drawing No.
 DA15
Checked

Issue
 E

DEVELOPMENT APPLICATION



Do not scale, check and verify all dimensions before commencing new work. ground levels may vary due to site conditions.



Issue	Issue description	Date
E	Amended to address Council's letter	22-06-18
C	Development Application Issue	23-02-18
B	Preim. Issue to Consultants	21-12-17

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 Parramatta NSW 2150 www.architex.com.au
 Principal Architect: Robert Del Pizzo
 NSW Reg. No. 3972

Project PROPOSED RESIDENTIAL APARTMENTS		
Project Address 7-11 Weston Street, Fairfield		
Client Sun Life Dior Pty. Ltd. ATF ATF Sun Life Dior Unit Trust		
Title Waste Management Plan		
Drawn PDP	Scale 1 : 50	Checked
Job No 2356	Drawing No. DA16	Issue E

DEVELOPMENT APPLICATION

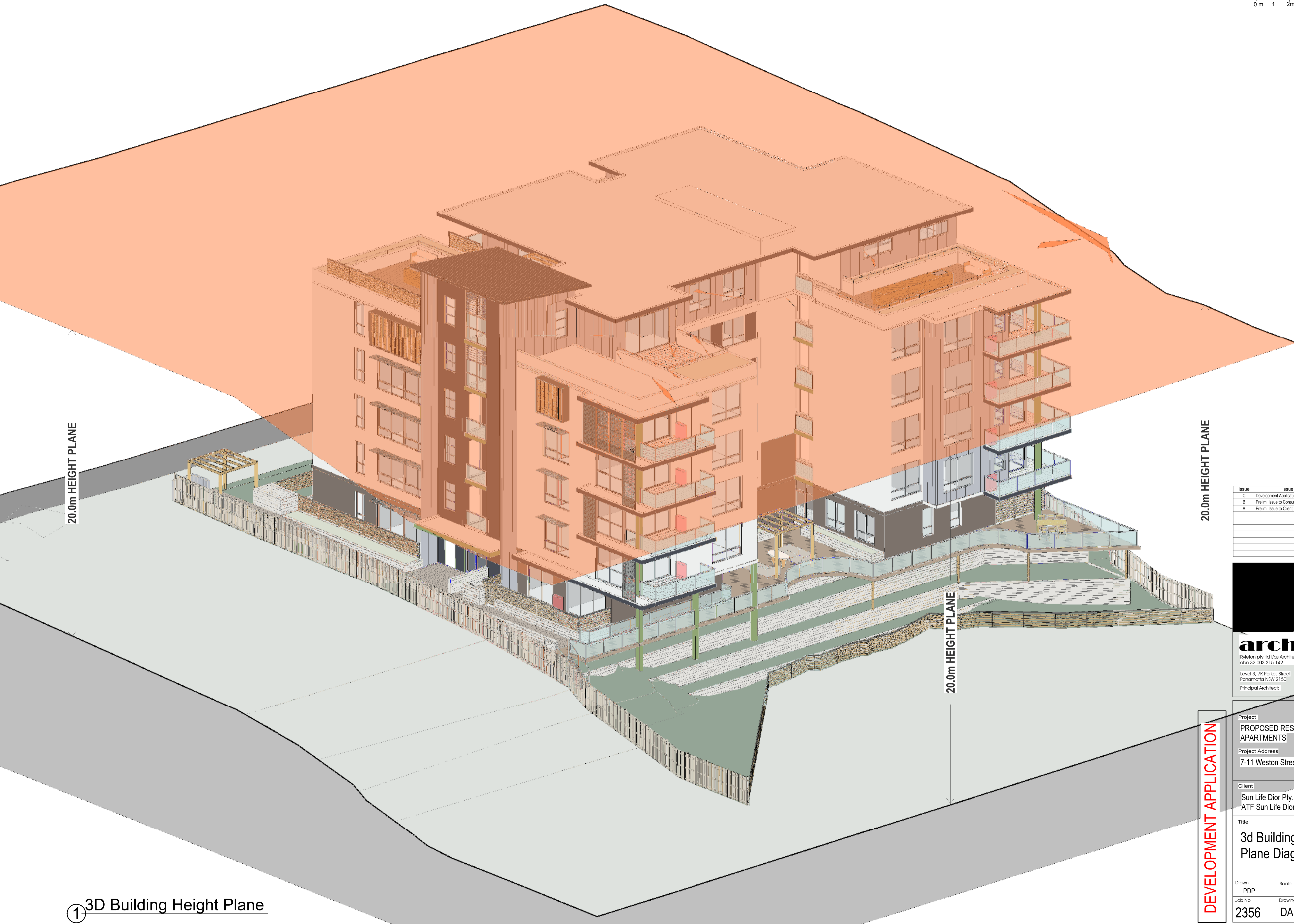
Service Bin Cupboard:
= 2 x 240 lt. service bins

Total in Bin Standing Room:
= 21 x 240 lt. waste bins
= 11 x 240 lt. recycle bins

- Notes:
- All bin rooms to have coved skirtings to all internal walls and non-slip smooth even floor surface to fall to central floor waste connected to sewer.
 - All residential units shall be supplied with a collection recess in each unit (located under kitchen bench) to deposit waste/recycle material for one day storage.

REFER TO WASTE MANAGEMENT REPORT FOR FURTHER DETAILS

1 Bin Room + Driveway Entry Detail - Ground Floor Level
1 : 50



20.0m HEIGHT PLANE

20.0m HEIGHT PLANE

20.0m HEIGHT PLANE

Issue	Issue description	Date
C	Development Application Issue	23-02-18
B	Prelim. Issue to Consultants	21-12-17
A	Prelim. Issue to Client	29-11-17



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 Principal Architect: Robert Del Pizzo
 NSW Reg. No. 3972

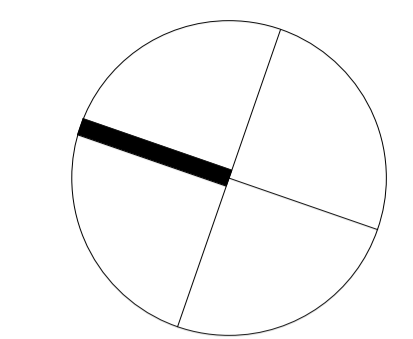
Project
 PROPOSED RESIDENTIAL APARTMENTS
Project Address
 7-11 Weston Street, Fairfield
Client
 Sun Life Dior Pty. Ltd. ATF
 ATF Sun Life Dior Unit Trust

Title
 3d Building Height Plane Diagram

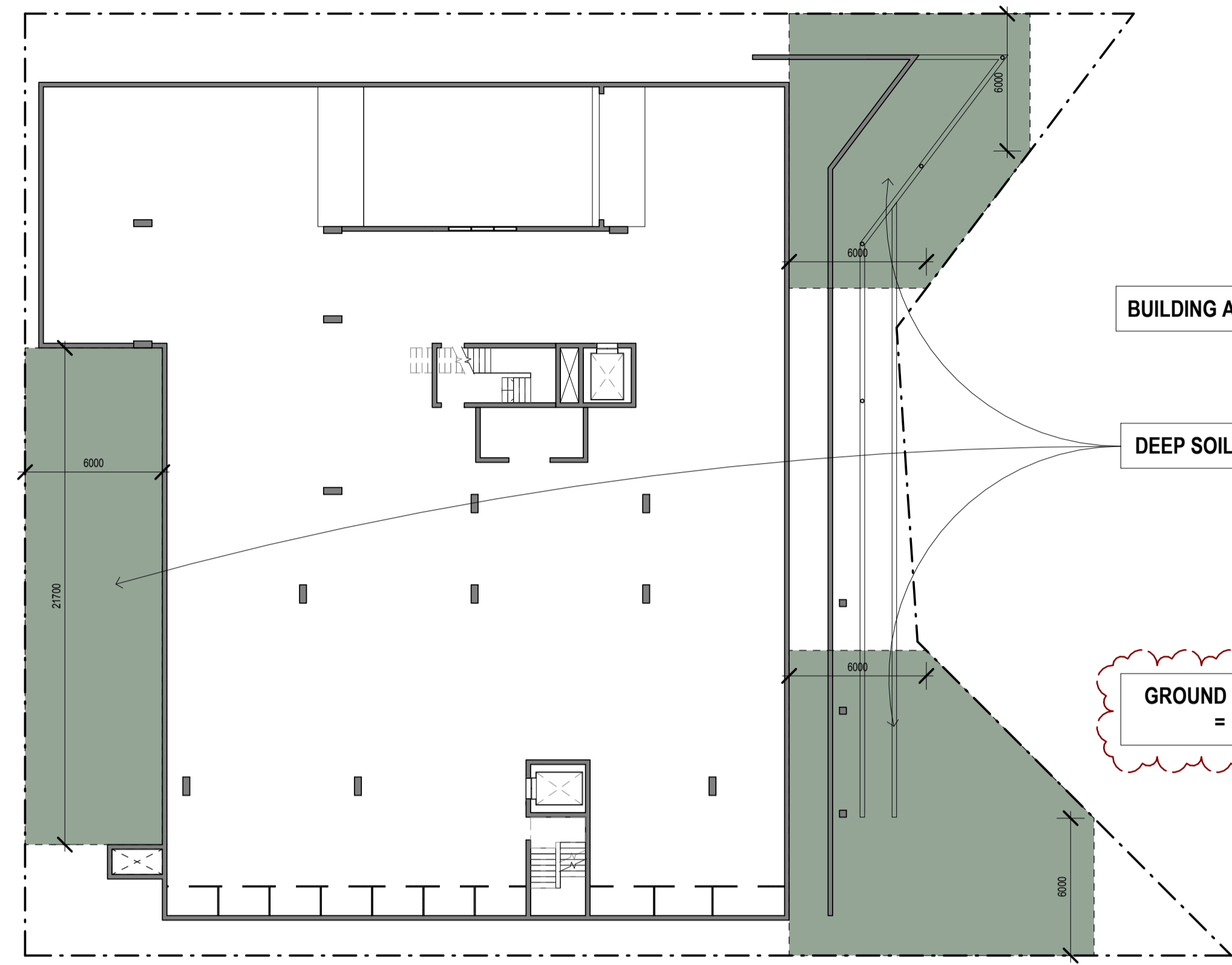
Drawn	Scale	Checked
PDP		
Job No	Drawing No.	Issue
2356	DA17	C

DEVELOPMENT APPLICATION

① 3D Building Height Plane



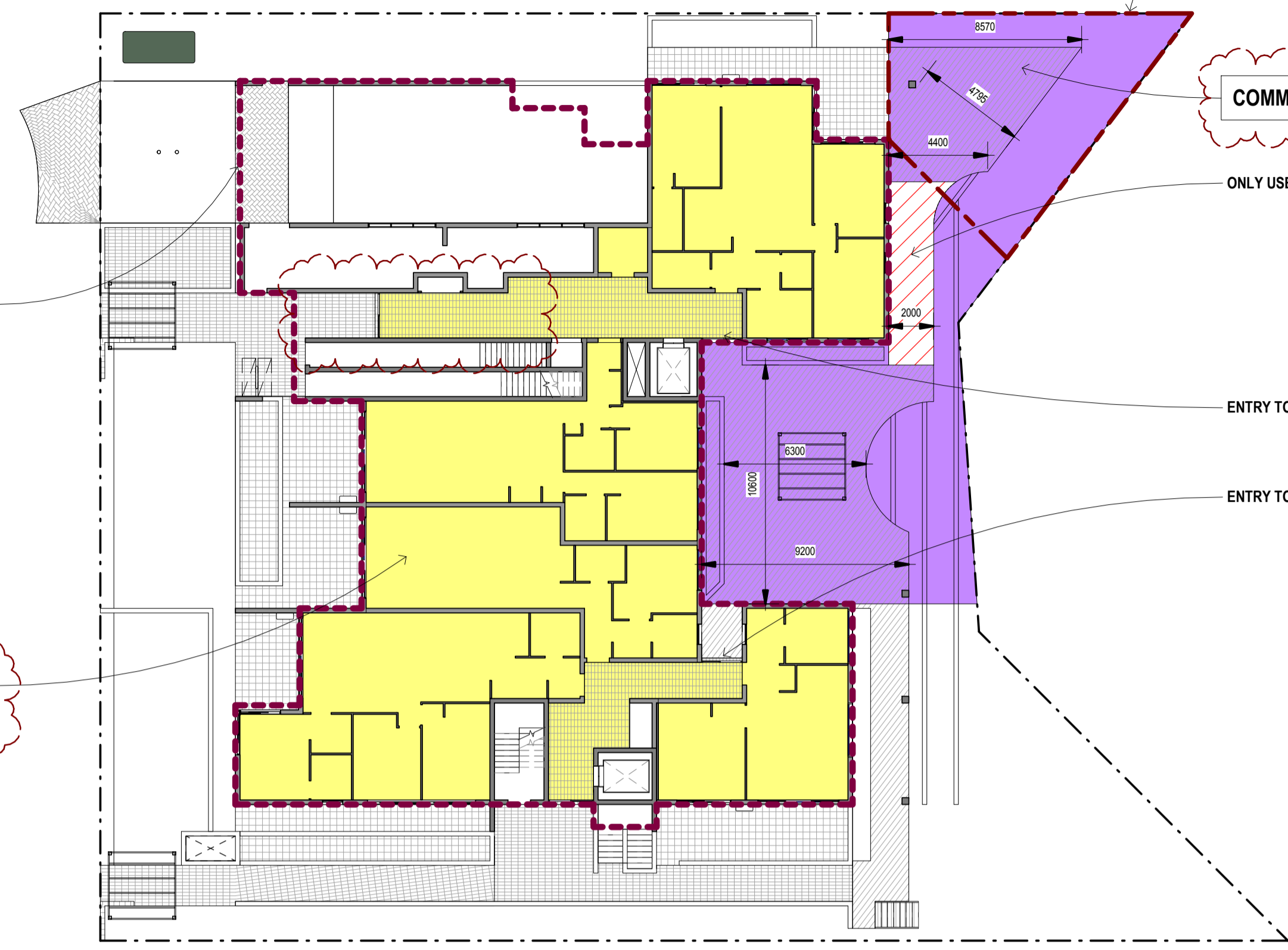
Do not scale, check and verify all dimensions before commencing new work. ground levels may vary due to site conditions.



BUILDING AREA = 724.7 sq m

DEEP SOIL AREA = 393.8 sq m

GROUND LEVEL FLOOR SPACE = 469.6 sq m



SUNLIGHT TO COMMON AREA 1 = 87.8 sqm

COMMON OPEN SPACE 1 = 253.6 sqm

ONLY USEABLE AREA LESS THAN 3m WIDTH = 16.9 sqm

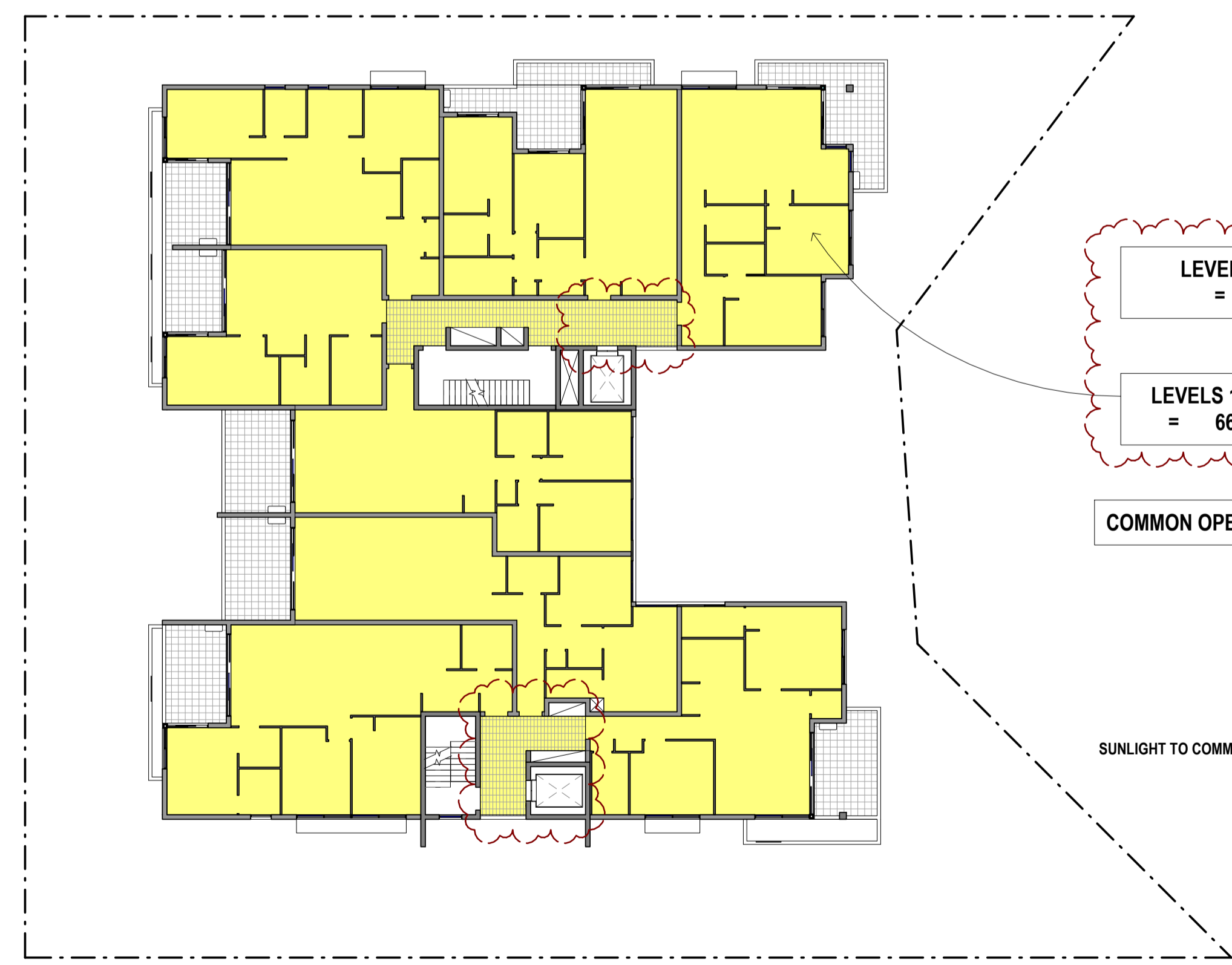
ENTRY TO COMMON AREA 3

ENTRY TO COMMON AREA 2

TOTAL CALCULATIONS	
SITE AREA	= 1,751.6 sq m
GROSS FLOOR AREA	= 3,503.3 sq m
FLOOR SPACE RATIO	= 2.000 : 1
BUILDING AREA	= 724.7 sq m
SITE COVER	= 41.4 %
DEEP SOIL (6x6 sq m)	= 393.8 sq m (22.5%)
TOTAL LANDSCAPING	= 756.8 sq m (43.2%)
COMMON OPEN SPACE	= 442.2 sq m (25.2%)

① Deep Soil Diagram - Basement Level 1
1 : 200

② FSR Diagram - Ground Floor Level
1 : 200

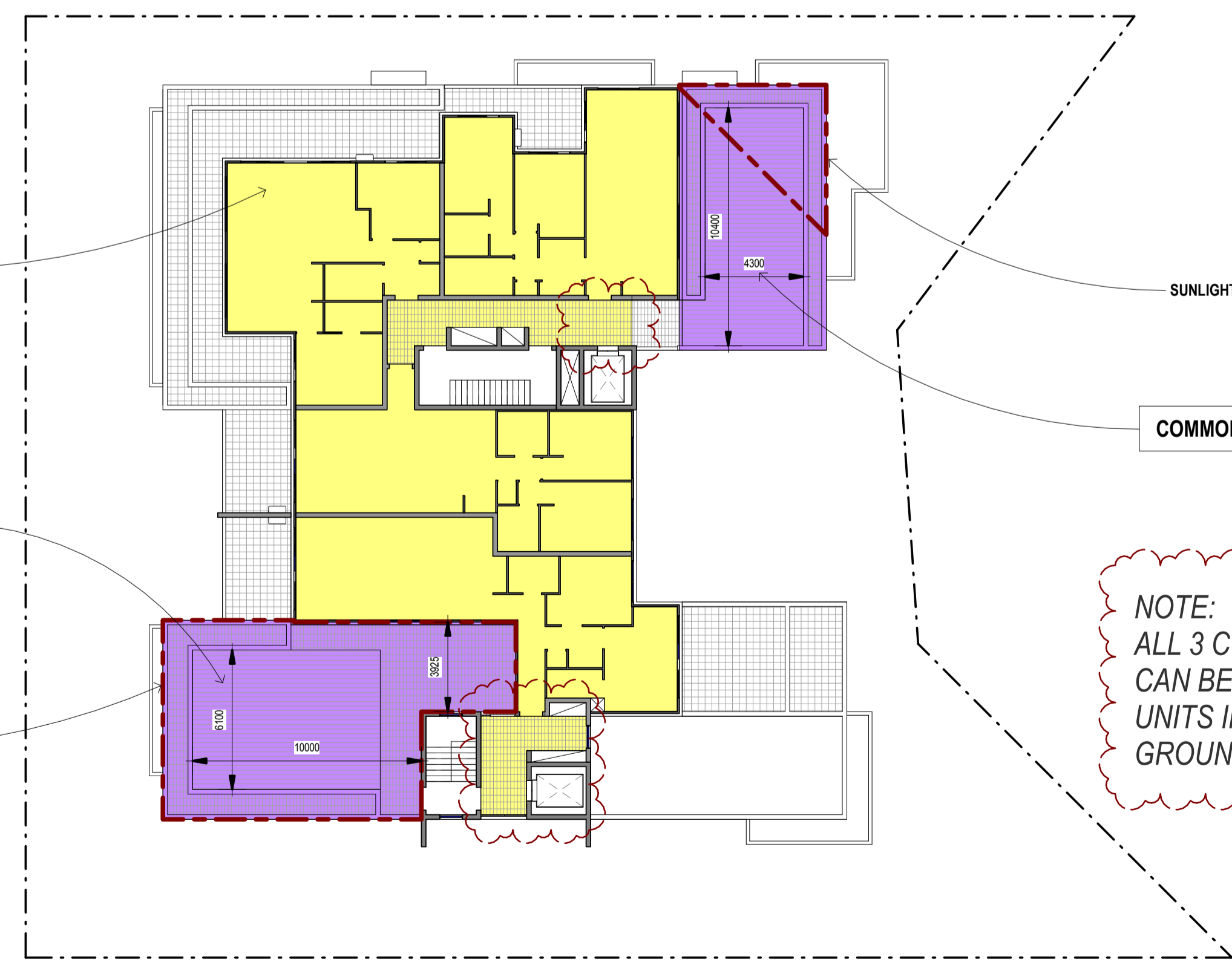


LEVEL 5 FLOOR SPACE = 356.5 sq m

LEVELS 1 TO 4 FLOOR SPACE = 669.3 sq m (per level)

COMMON OPEN SPACE 2 = 114.1 sqm

SUNLIGHT TO COMMON AREA 2 = 114.1 sqm



SUNLIGHT TO COMMON AREA 3 = 21.4 sqm

COMMON OPEN SPACE 3 = 74.5 sqm

NOTE:
ALL 3 COMMON OPEN SPACES
CAN BE ACCESSED BY ALL
UNITS IN THE DEVELOPMENT AT
GROUND FLOOR REAR ENTRY

③ FSR Diagram - Typical Levels 1-4
1 : 200

④ FSR Diagram - Level 5
1 : 200

Issue	Issue description	Date
E	Amended to address Council's letter	22-06-18
D	Parking reduced in accordance with Part 3.1 of the ADG	11-05-18
C	Development Application Issue	23-02-18

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Project	PROPOSED RESIDENTIAL APARTMENTS	
Project Address	7-11 Weston Street, Fairfield	
Client	Sun Life Dior Pty. Ltd. ATF ATF Sun Life Dior Unit Trust	
Title	F.S.R. + Site Calculation Diagrams	
Drawn	Scale	Checked
PDP	1 : 200	
Job No	Drawing No.	Issue
2356	DA18	E

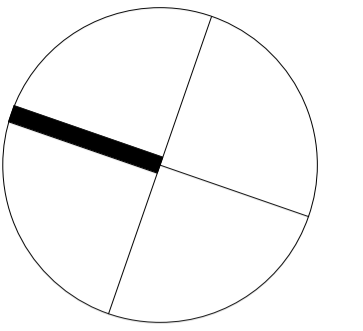
DEVELOPMENT APPLICATION

9
DP9497

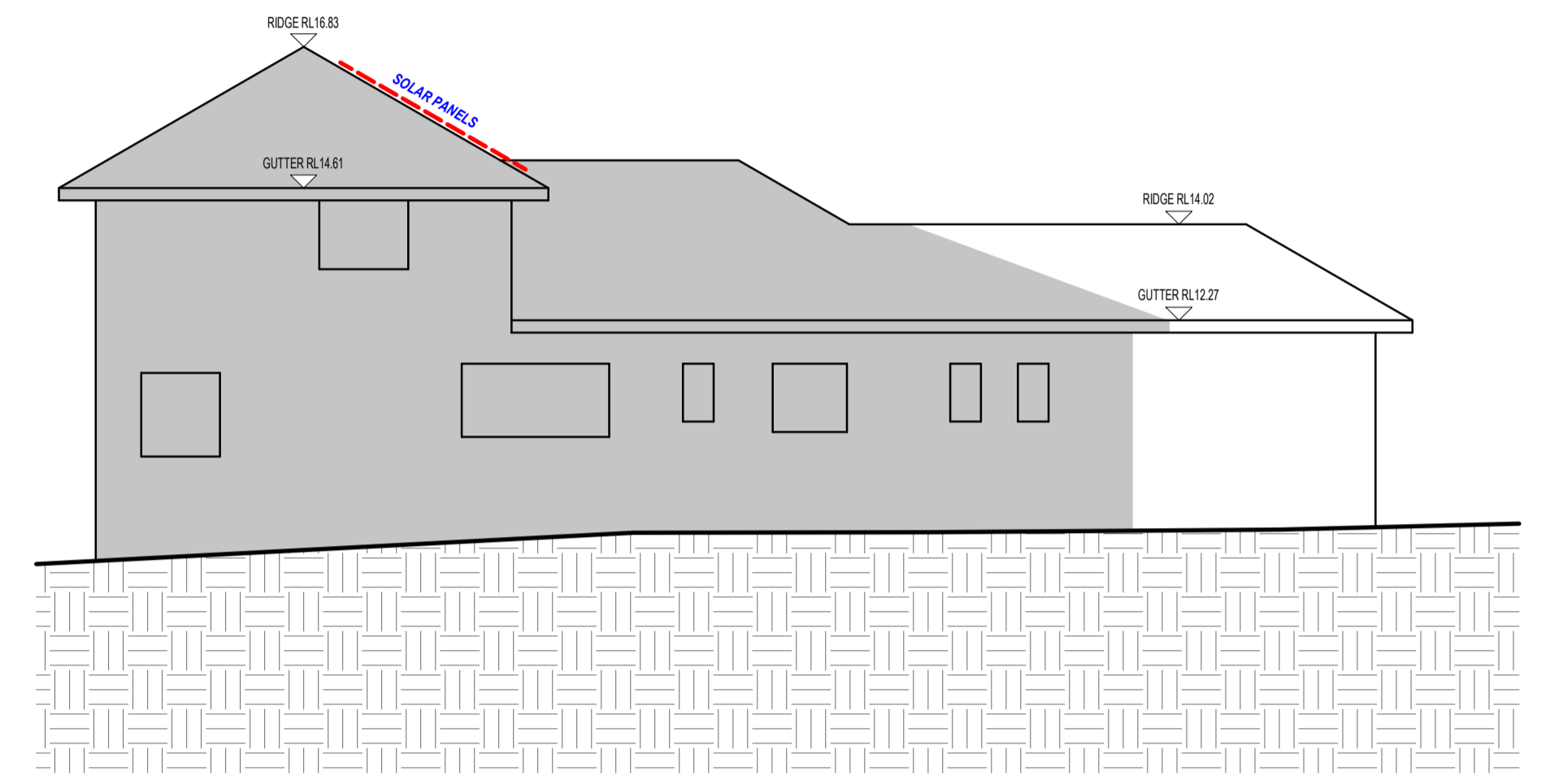


1:200
0m 2m 4m 10m

True Northpoint



Do not scale, check and verify all dimensions before commencing new work. Ground levels may vary due to site conditions.



A Adjoining No 5 Elevation 9am
1 : 100

Issue	Issue description	Date
E	Amended to address Council's letter	22-06-18
C	Development Application Issue	23-02-18
B	Prelim. Issue to Consultants	21-12-17

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DEVELOPMENT APPLICATION

Project PROPOSED RESIDENTIAL APARTMENTS		
Project Address 7-11 Weston Street, Fairfield		
Client Sun Life Dior Pty. Ltd. ATF ATF Sun Life Dior Unit Trust		
Title Shadow Diagrams 9am 21st June		
Drawn PDP	Scale As indicated	Checked
Job No 2356	Drawing No. DA19	Issue E

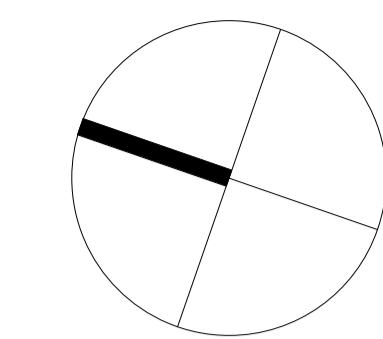
1 Shadow Diagrams 9am 21st June
1 : 200

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DP9497

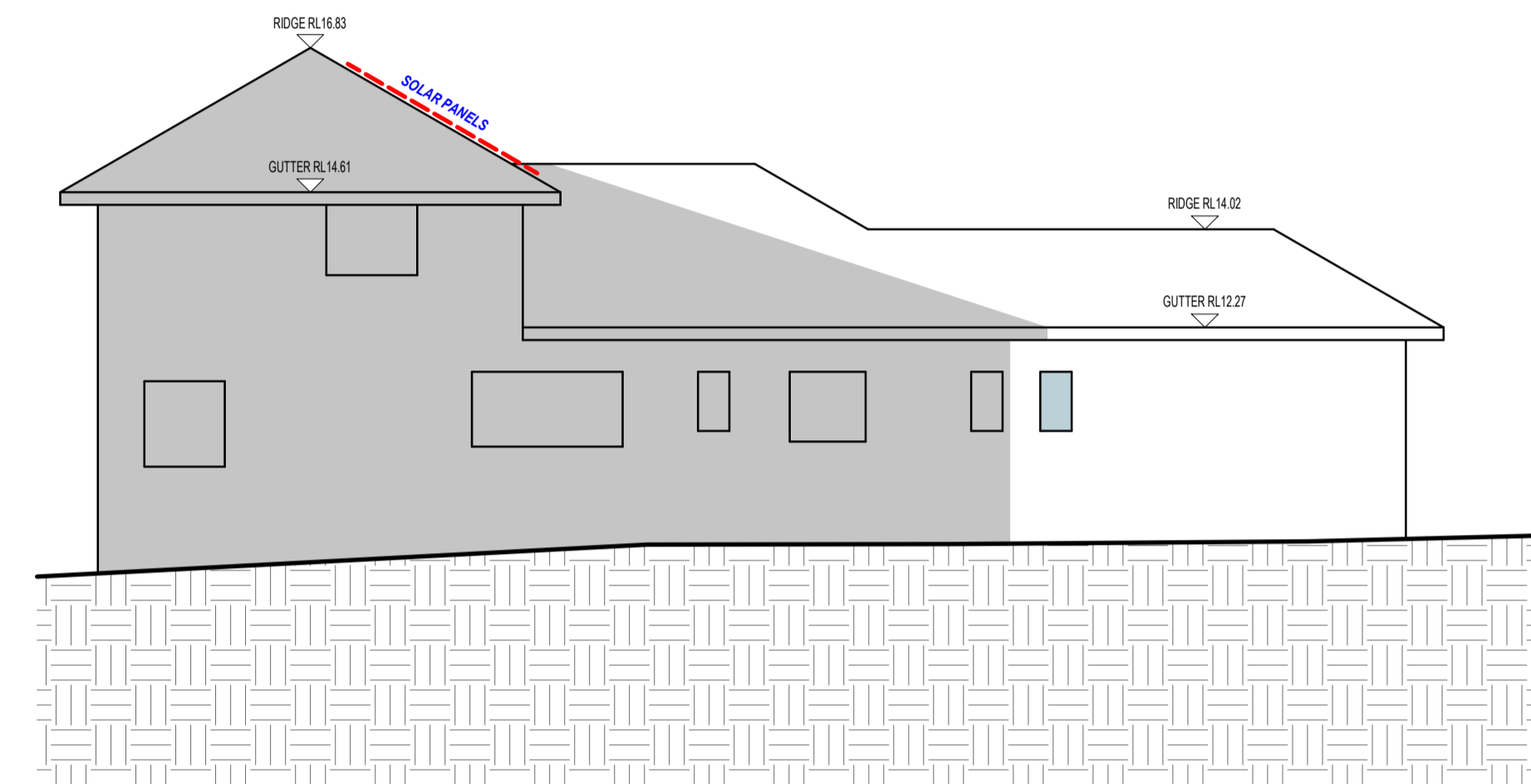


1:200
0m 2m 4m 10m

True Northpoint



Do not scale, check and verify all dimensions before commencing new work. Ground levels may vary due to site conditions.



B Adjoining No 5 Elevation 10am
1:100

Issue	Issue description	Date
E	Amended to address Council's letter	22-06-18



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Project
PROPOSED RESIDENTIAL APARTMENTS
Project Address
7-11 Weston Street, Fairfield
Client
Sun Life Dior Pty. Ltd. ATF
ATF Sun Life Dior Unit Trust

Title
Shadow Diagrams
10am 21st June

Drawn	Scale	Checked
PDP	As indicated	
Job No	Drawing No.	Issue
2356	DA20	E

DEVELOPMENT APPLICATION

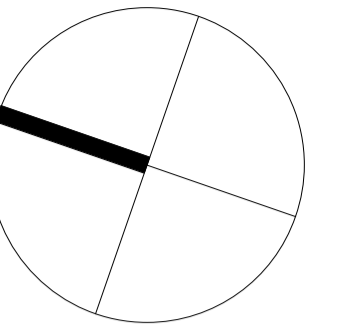
2 Shadow Diagrams 10am 21st June
1:200

9
DP8497

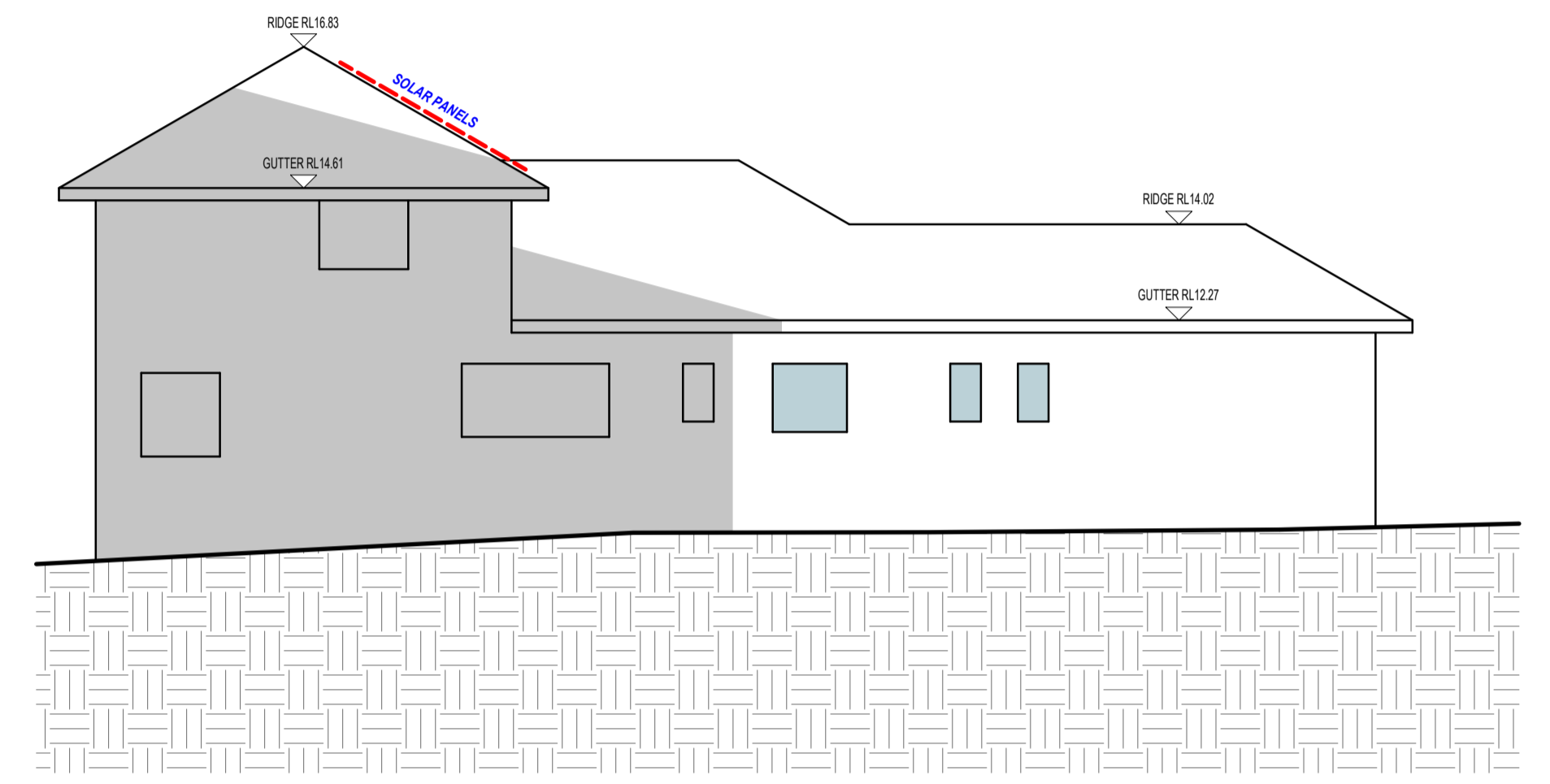
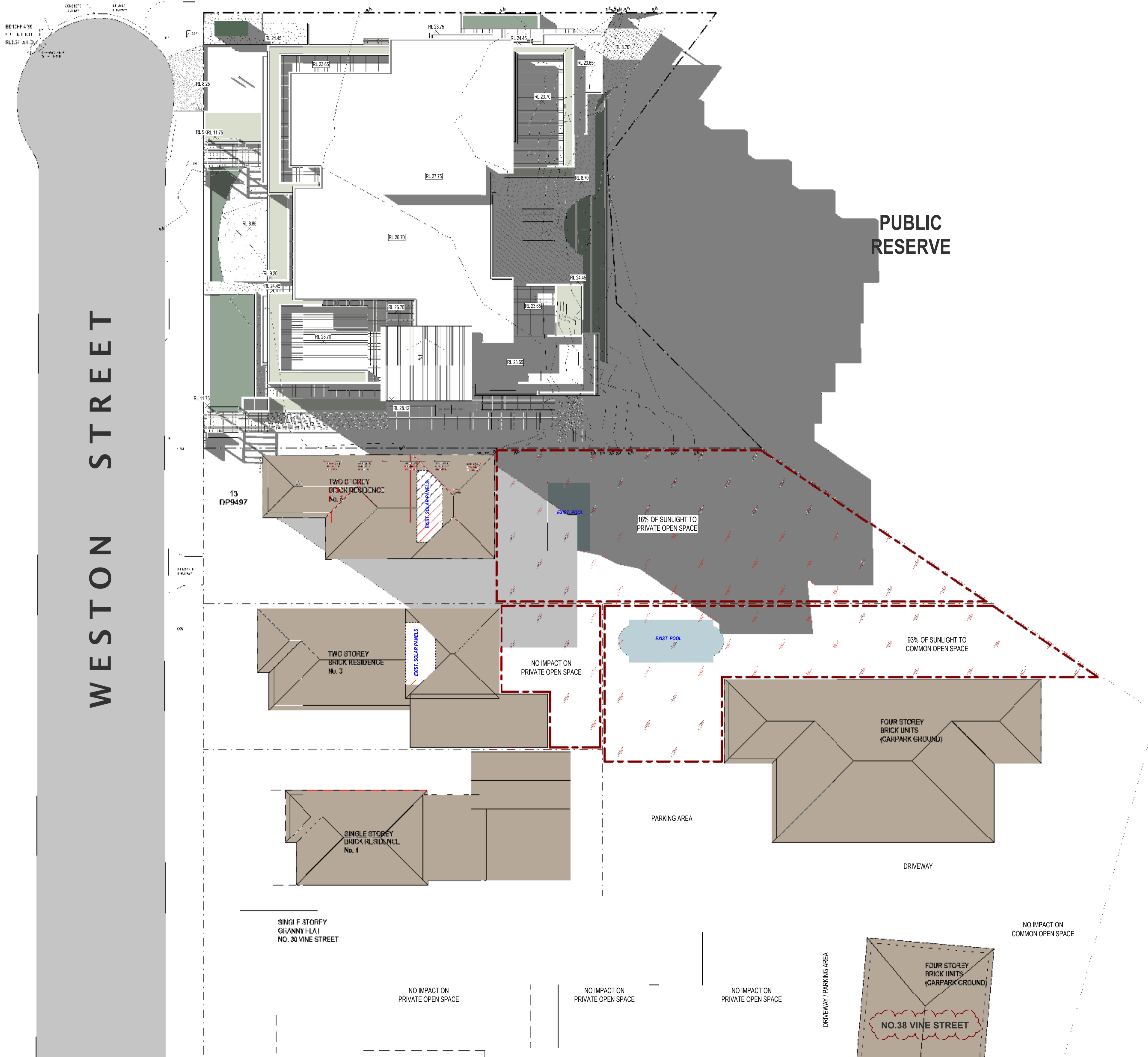


1:200
0m 2m 4m 10m

True Northpoint



Do not scale, check and verify all dimensions before commencing new work. Ground levels may vary due to site conditions.



© Adjoining No 5 Elevation 11am
1:100

Issue	Issue description	Date
E	Amended to address Council's letter	22-06-18

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Project
PROPOSED RESIDENTIAL APARTMENTS

Project Address
7-11 Weston Street, Fairfield

Client
Sun Life Dior Pty. Ltd. ATF
ATF Sun Life Dior Unit Trust

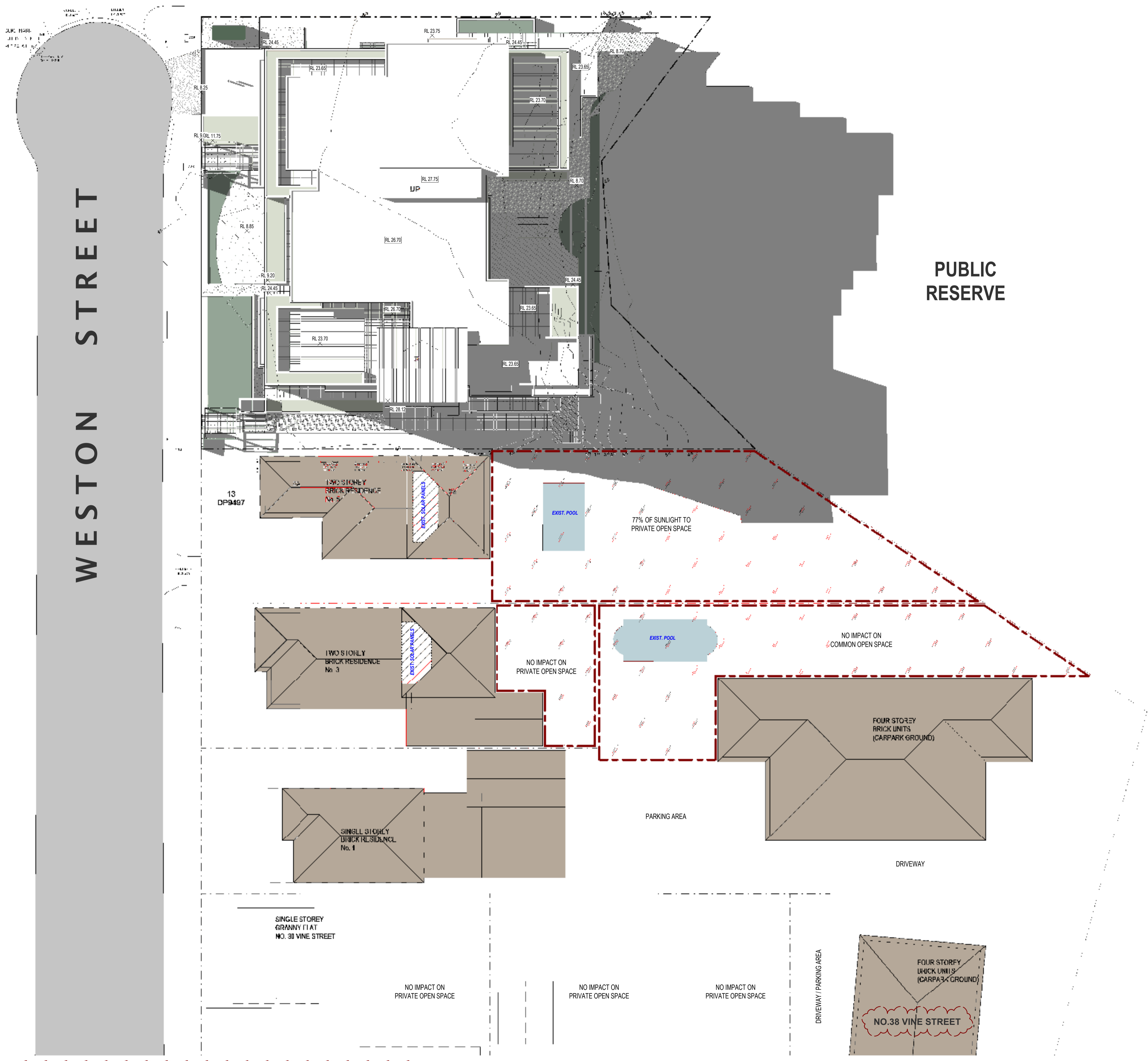
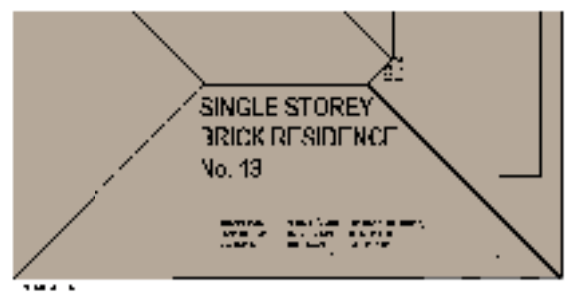
Title
**Shadow Diagrams
11am 21st June**

Drawn	Scale	Checked
PDP	As indicated	
Job No	Drawing No.	Issue
2356	DA21	E

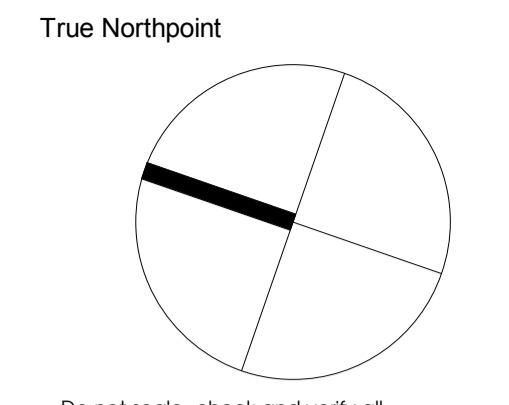
③ Shadow Diagrams 11am 21st June
1:200

DEVELOPMENT APPLICATION

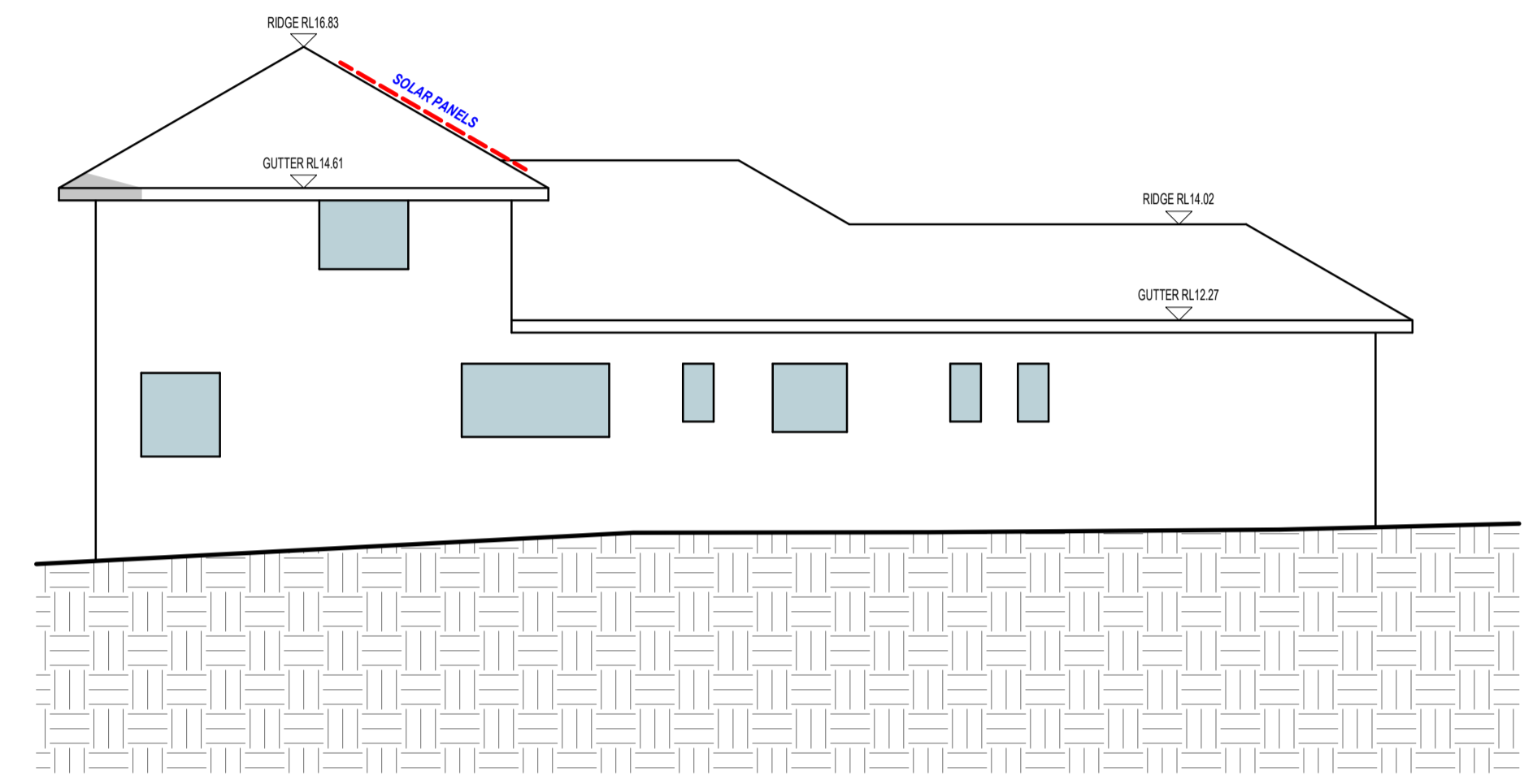
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DP9497



1:200
0m 2 4m 10m



Do not scale, check and verify all dimensions before commencing new work. Ground levels may vary due to site conditions.



D Adjoining No 5 Elevation 12noon
1 : 100

Issue	Issue description	Date
E	Amended to address Council's letter	22-06-18
C	Development Application Issue	23-02-18
B	Prelim. Issue to Consultants	21-12-17

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Principal Architect: Robert Del Pizzo
NSW Reg. No. 3972

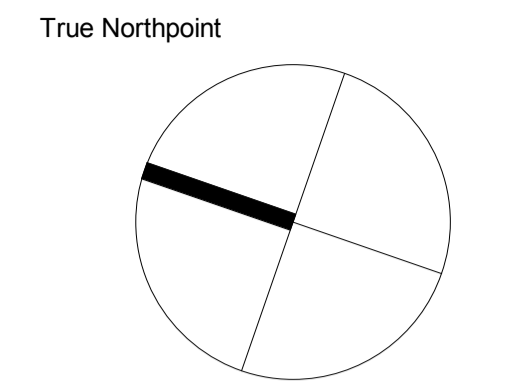
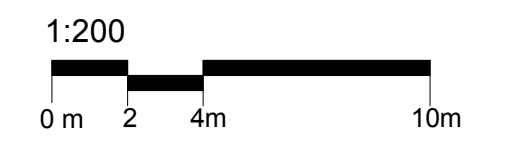
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Project PROPOSED RESIDENTIAL APARTMENTS		
Project Address 7-11 Weston Street, Fairfield		
Client Sun Life Dior Pty. Ltd. ATF ATF Sun Life Dior Unit Trust		
Title Shadow Diagrams 12noon 21st June		
Drawn PDP	Scale As indicated	Checked
Job No 2356	Drawing No. DA22	Issue E

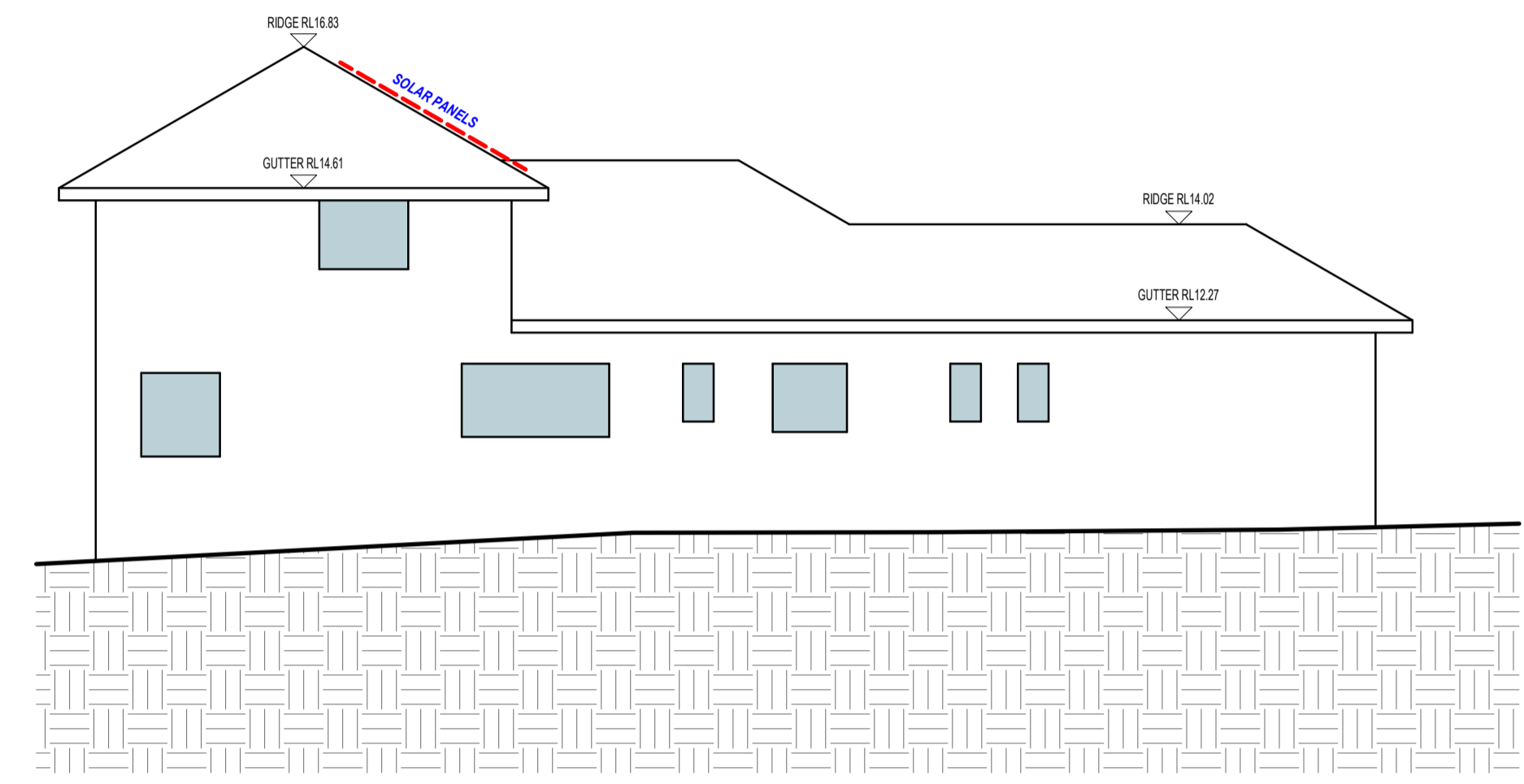
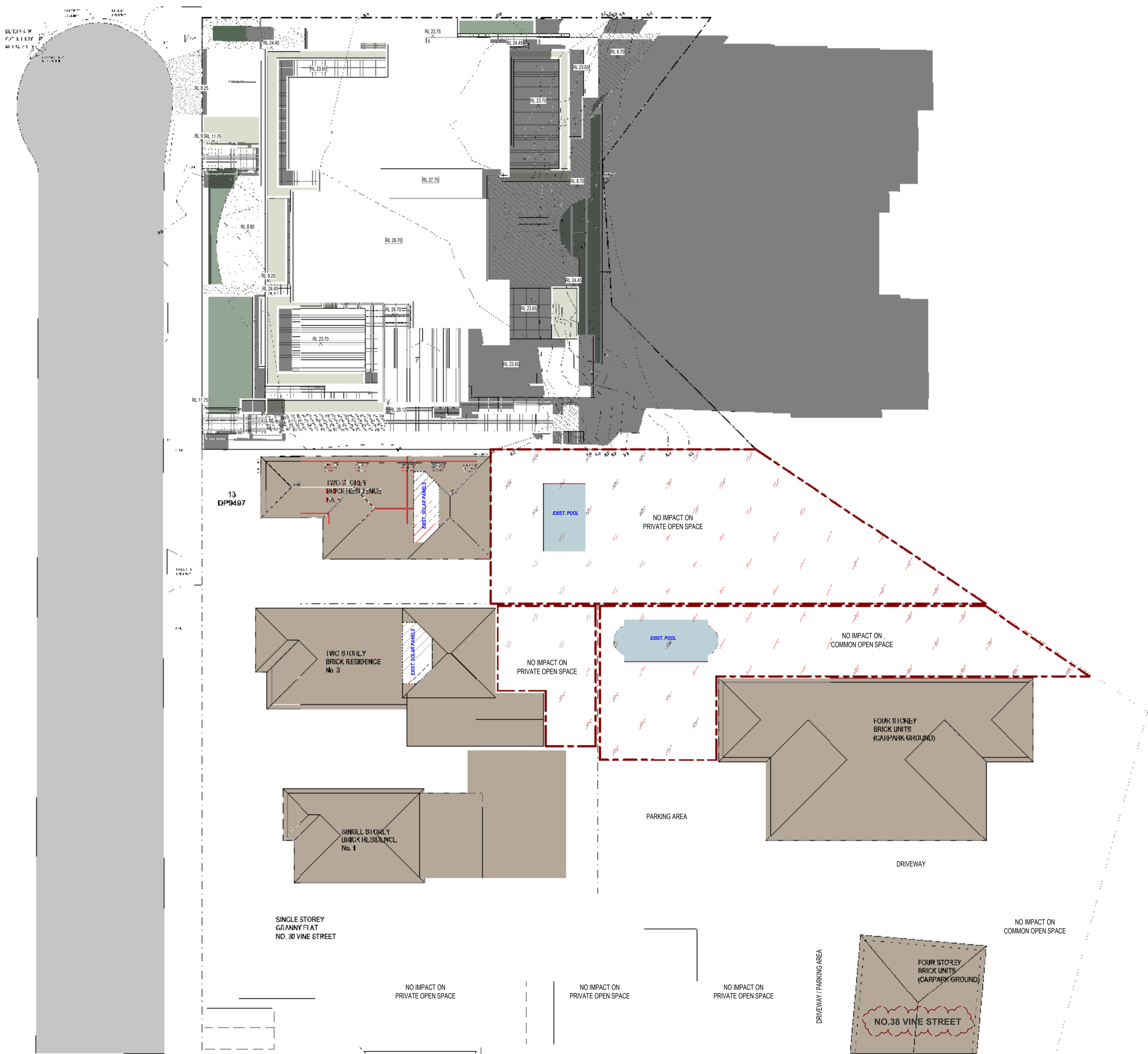
DEVELOPMENT APPLICATION

4 Shadow Diagrams 12noon 21st June
1 : 200

9
DP9497



Do not scale, check and verify all dimensions before commencing new work. Ground levels may vary due to site conditions.



E Adjoining No 5 Elevation 1pm
1 : 100

Issue	Issue description	Date
E	Amended to address Council's letter	22-06-18

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Project
PROPOSED RESIDENTIAL APARTMENTS

Project Address
7-11 Weston Street, Fairfield

Client
Sun Life Dior Pty. Ltd. ATF
ATF Sun Life Dior Unit Trust

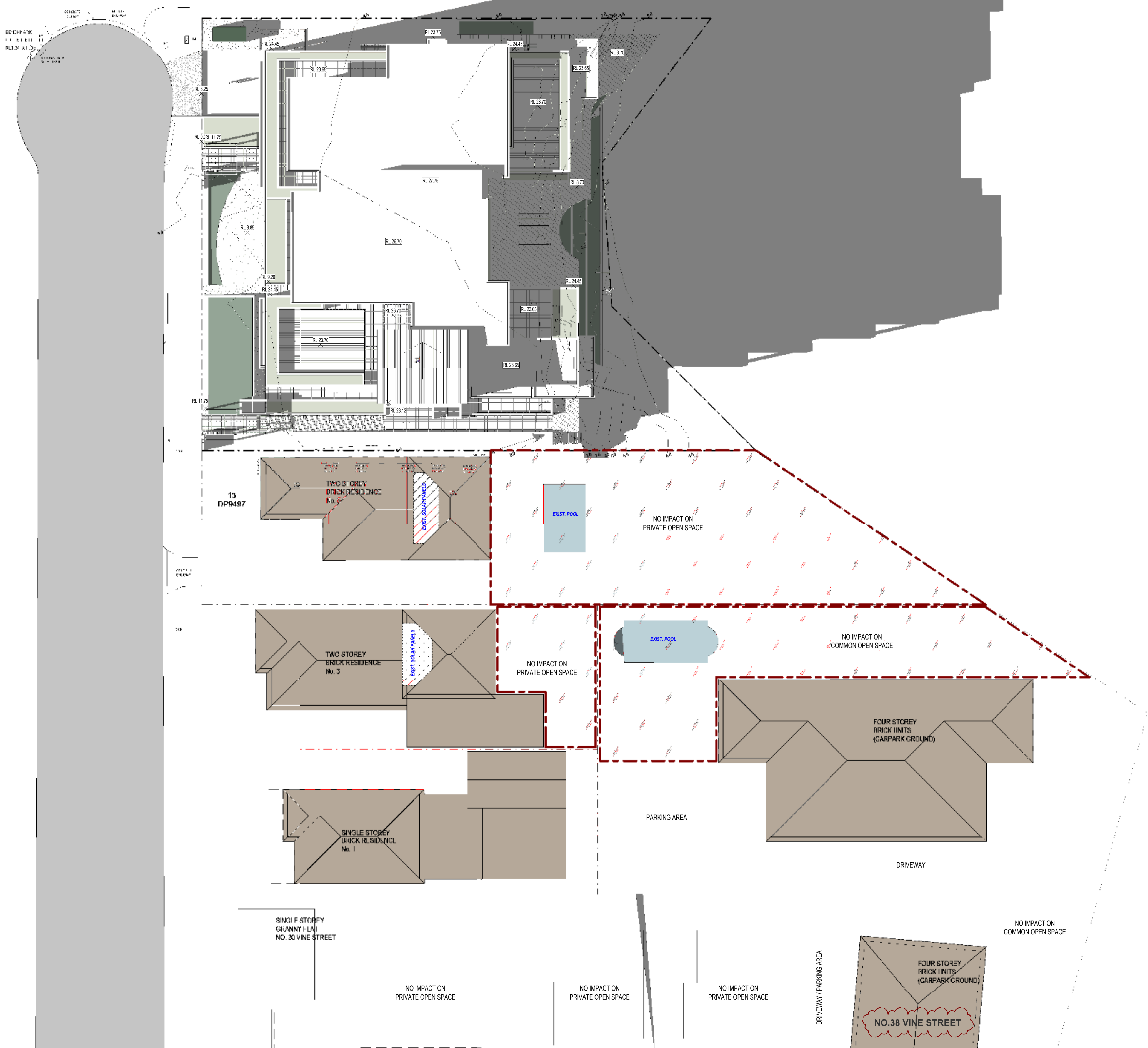
Title
**Shadow Diagrams
1pm 21st June**

Drawn	Scale	Checked
PDP	As indicated	
Job No	Drawing No.	Issue
2356	DA23	E

DEVELOPMENT APPLICATION

5 Shadow Diagrams 1pm 21st June
1 : 200

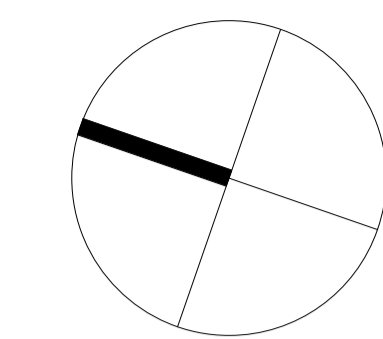
9
DP9497



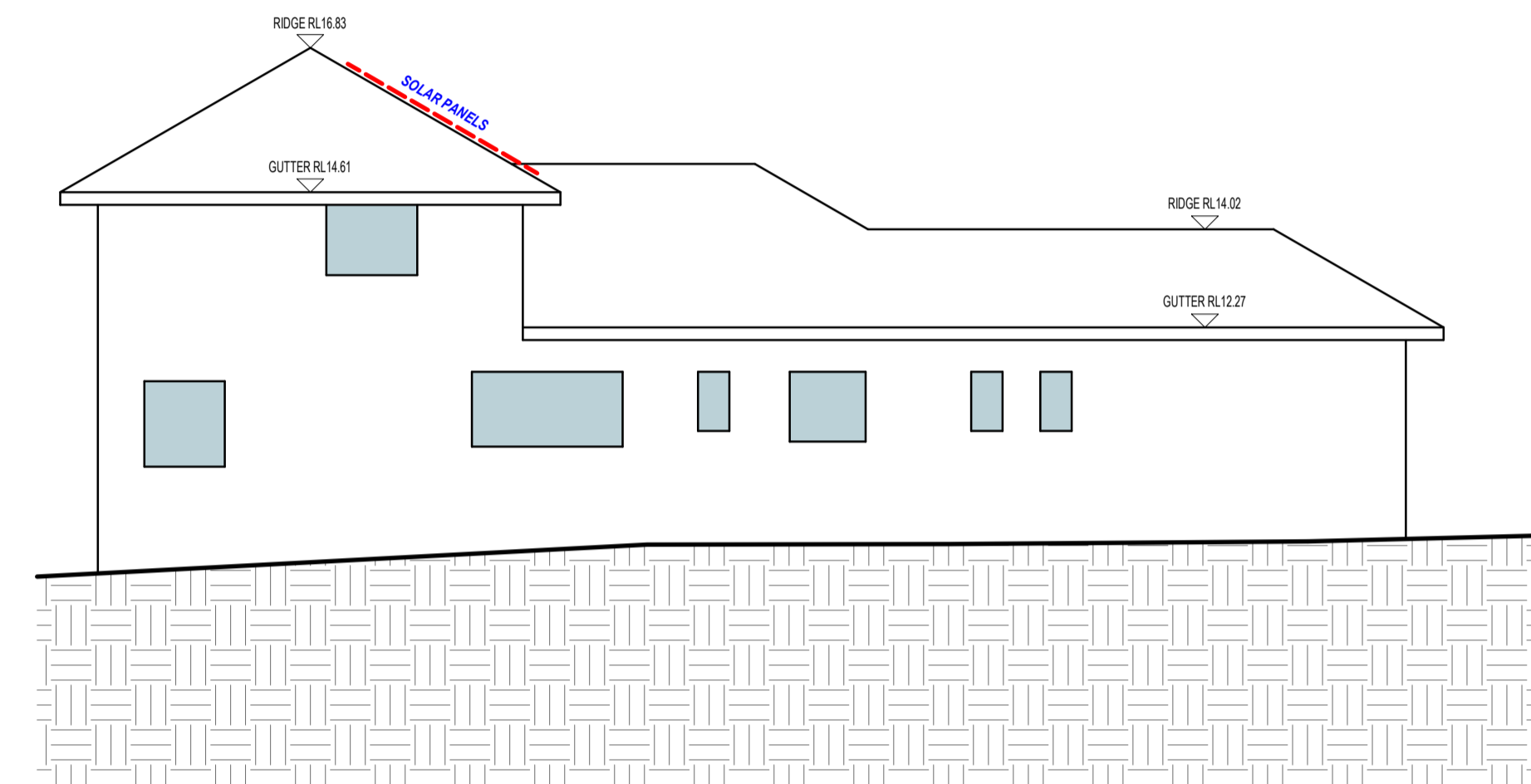
⑥ Shadow Diagrams 2pm 21st June
1 : 200

1:200
0m 2 4m 10m

True Northpoint



Do not scale, check and verify all dimensions before commencing new work. Ground levels may vary due to site conditions.



Ⓕ Adjoining No 5 Elevation 2pm
1 : 100

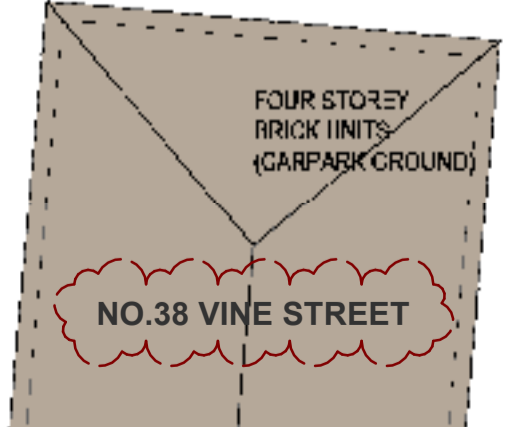
Issue	Issue description	Date
E	Amended to address Council's letter	22-06-18

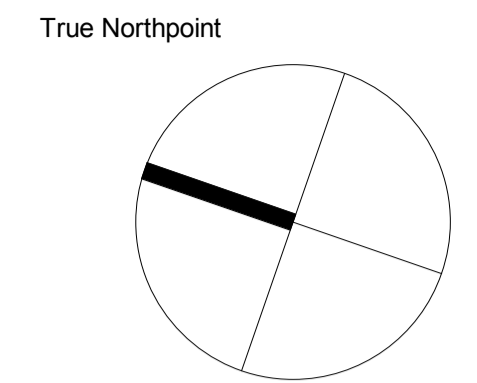
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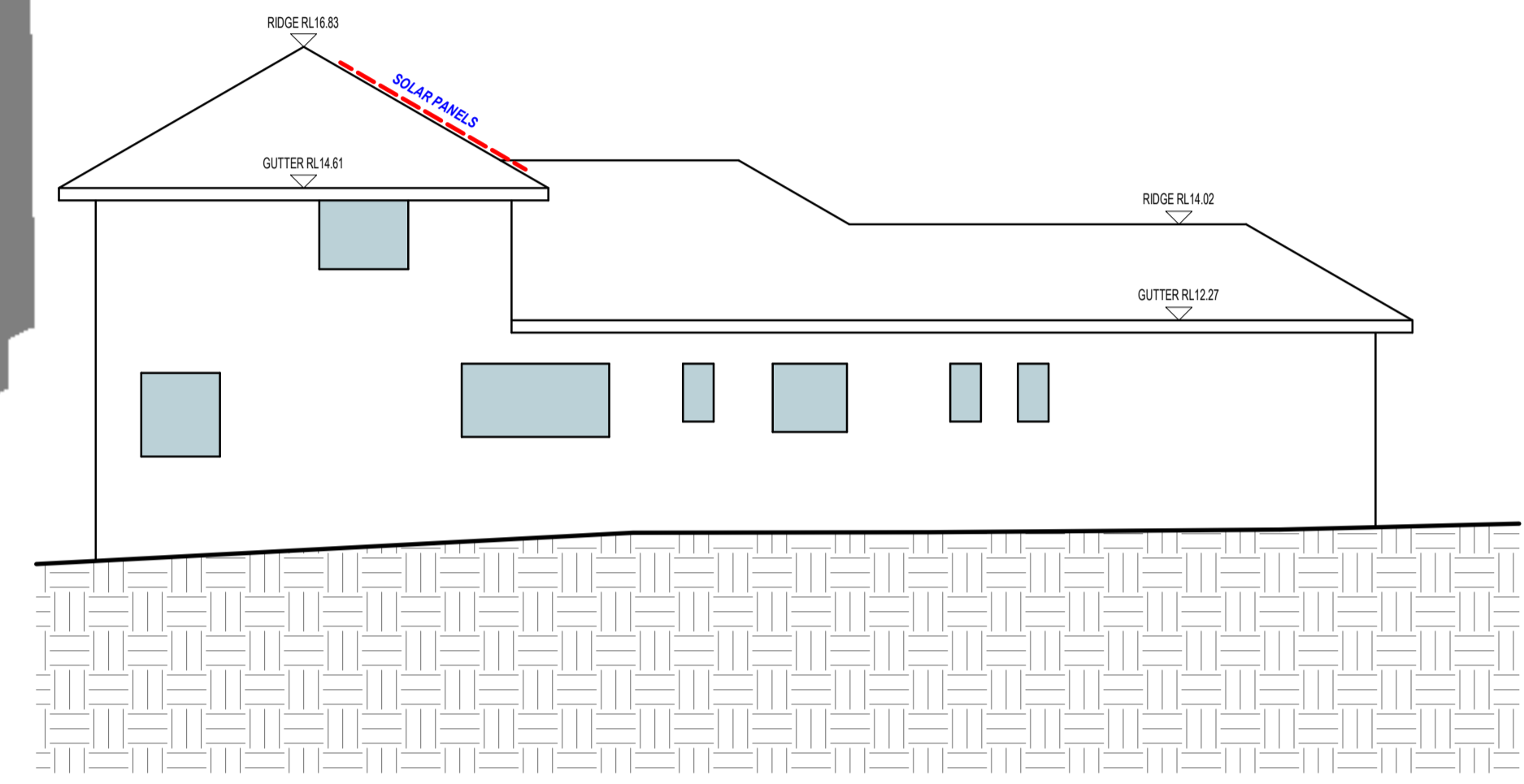
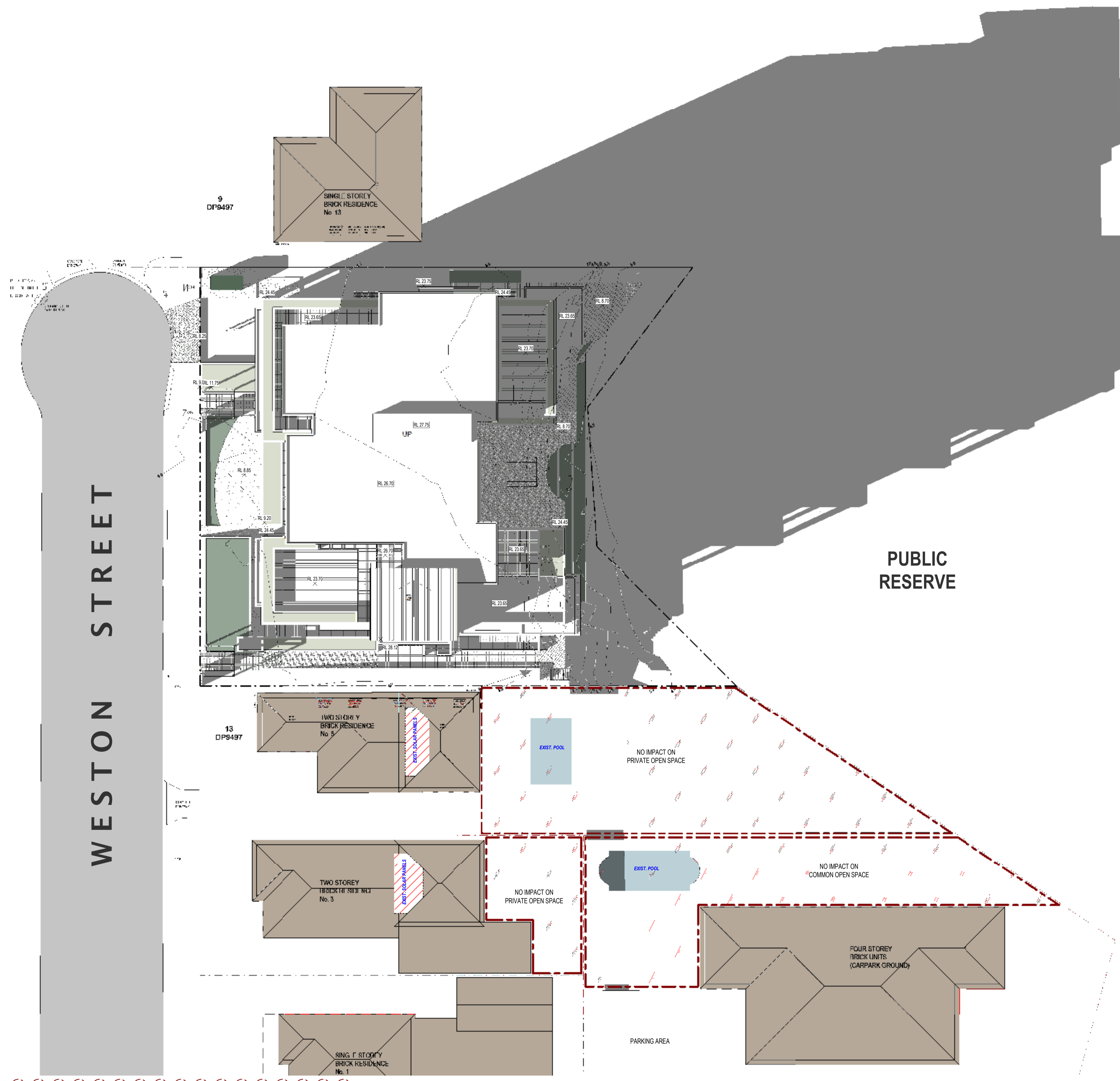
Project PROPOSED RESIDENTIAL APARTMENTS		
Project Address 7-11 Weston Street, Fairfield		
Client Sun Life Dior Pty. Ltd. ATF ATF Sun Life Dior Unit Trust		
Title Shadow Diagrams 2pm 21st June		
Drawn PDP	Scale As indicated	Checked
Job No 2356	Drawing No. DA24	Issue E

DEVELOPMENT APPLICATION





Do not scale, check and verify all dimensions before commencing new work. Ground levels may vary due to site conditions.



Adjoining No 5 Elevation 3pm
1 : 100

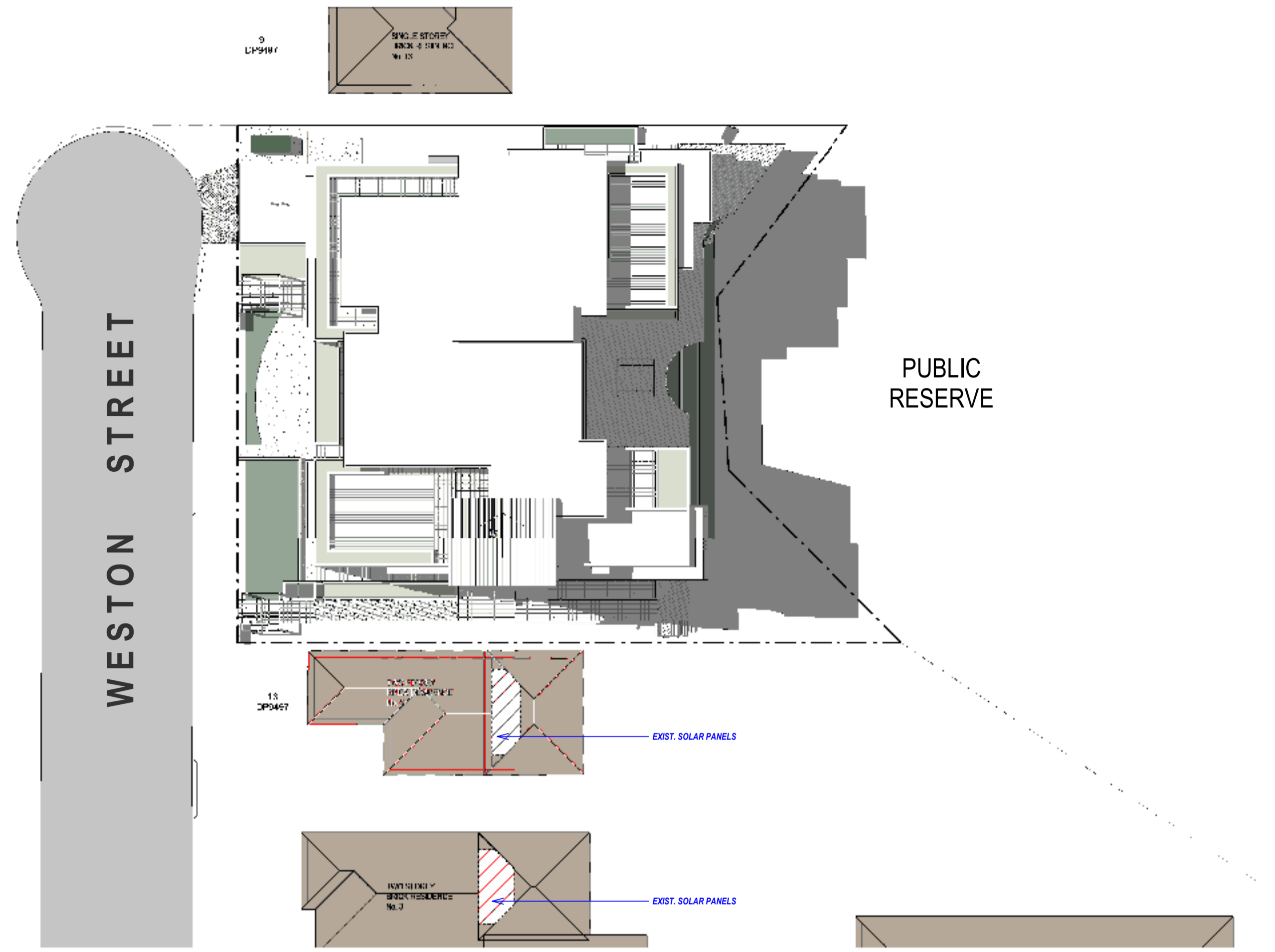
Shadow Diagrams 3pm 21st June
1 : 200

Issue	Issue description	Date
E	Amended to address Council's letter	22-06-18
C	Development Application Issue	23-02-18
B	Prelim. Issue to Consultants	21-12-17

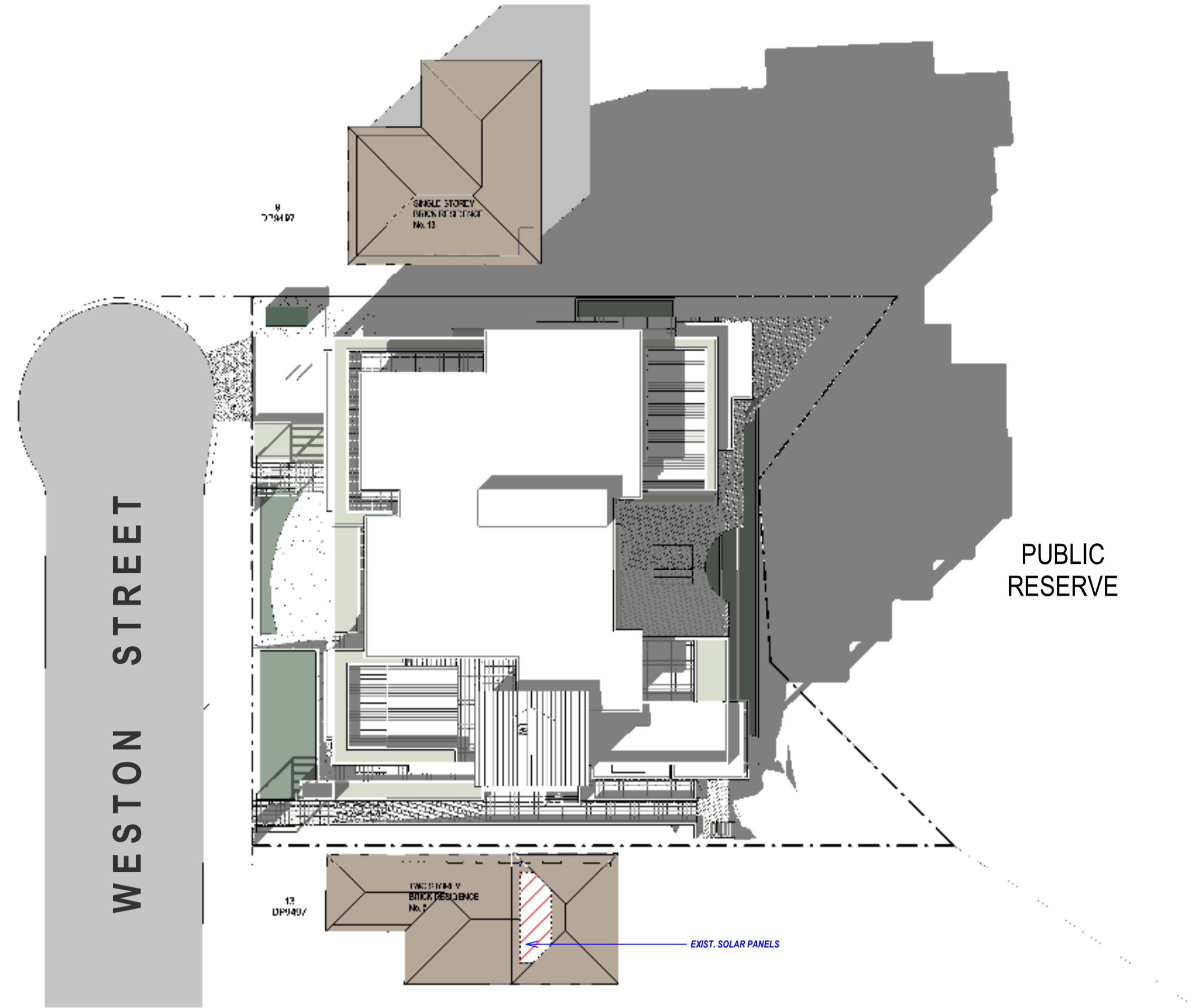
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email@architex.com.au
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Robert Del Pizzo
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DEVELOPMENT APPLICATION

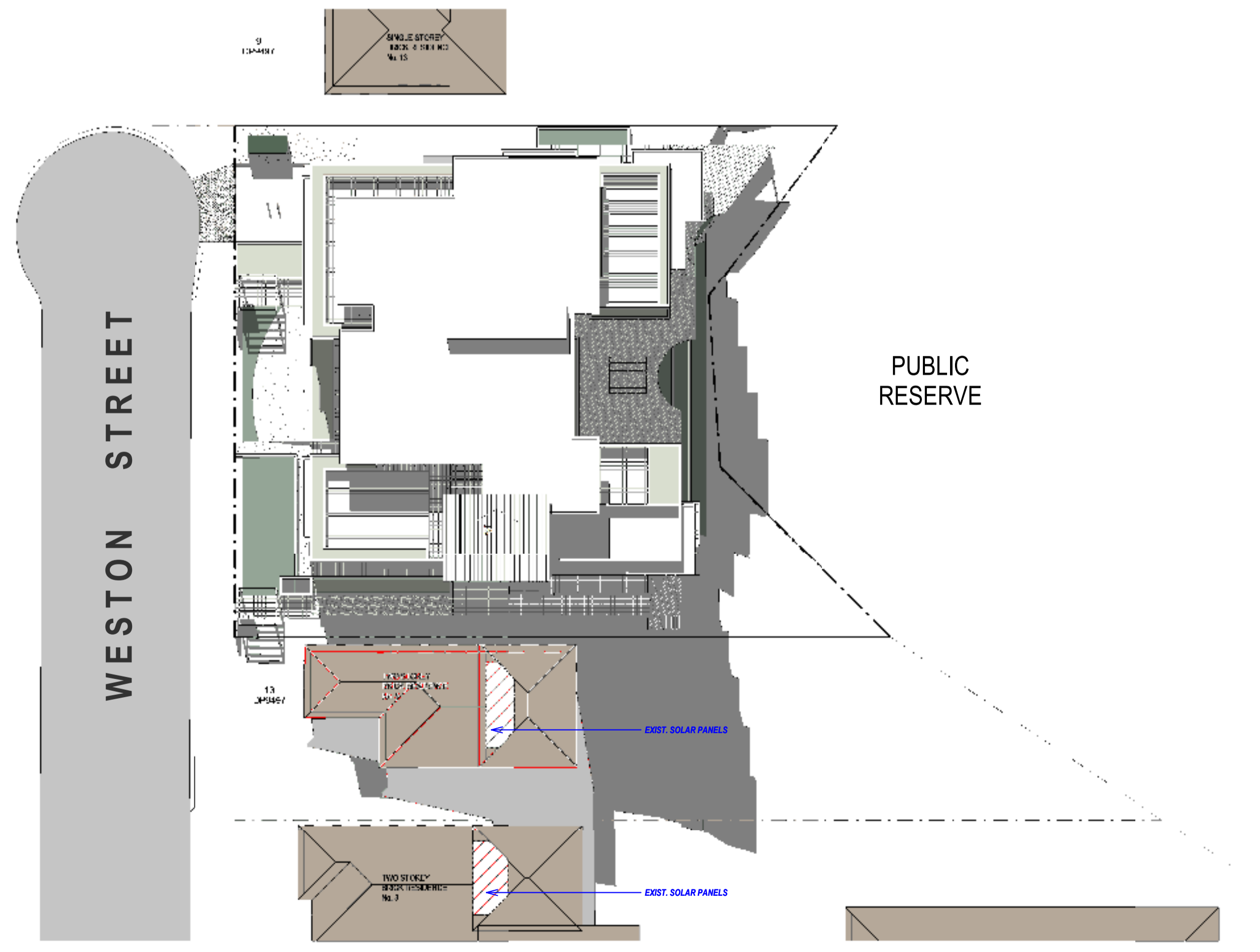
Project PROPOSED RESIDENTIAL APARTMENTS		
Project Address 7-11 Weston Street, Fairfield		
Client Sun Life Dior Pty. Ltd. ATF ATF Sun Life Dior Unit Trust		
Title Shadow Diagrams 3pm 21st June		
Drawn PDP	Scale As indicated	Checked
Job No 2356	Drawing No. DA25	Issue E



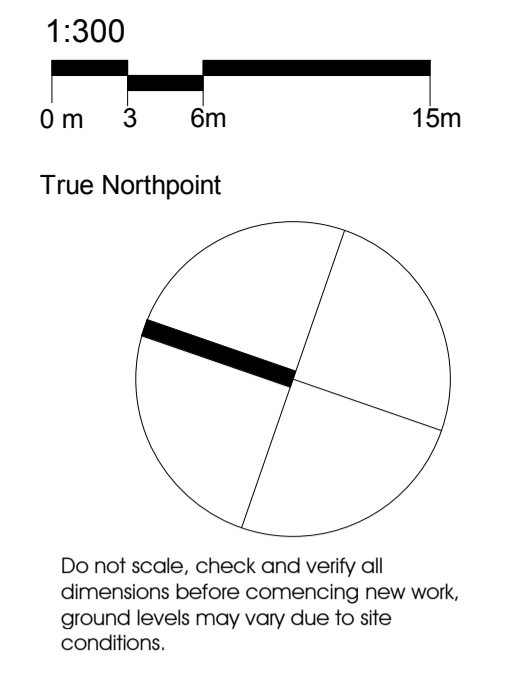
② Shadow Diagrams 12noon 23rd September
1:300



③ Shadow Diagrams 3pm 23rd September
1:300



① Shadow Diagrams 9am 23rd September
1:300



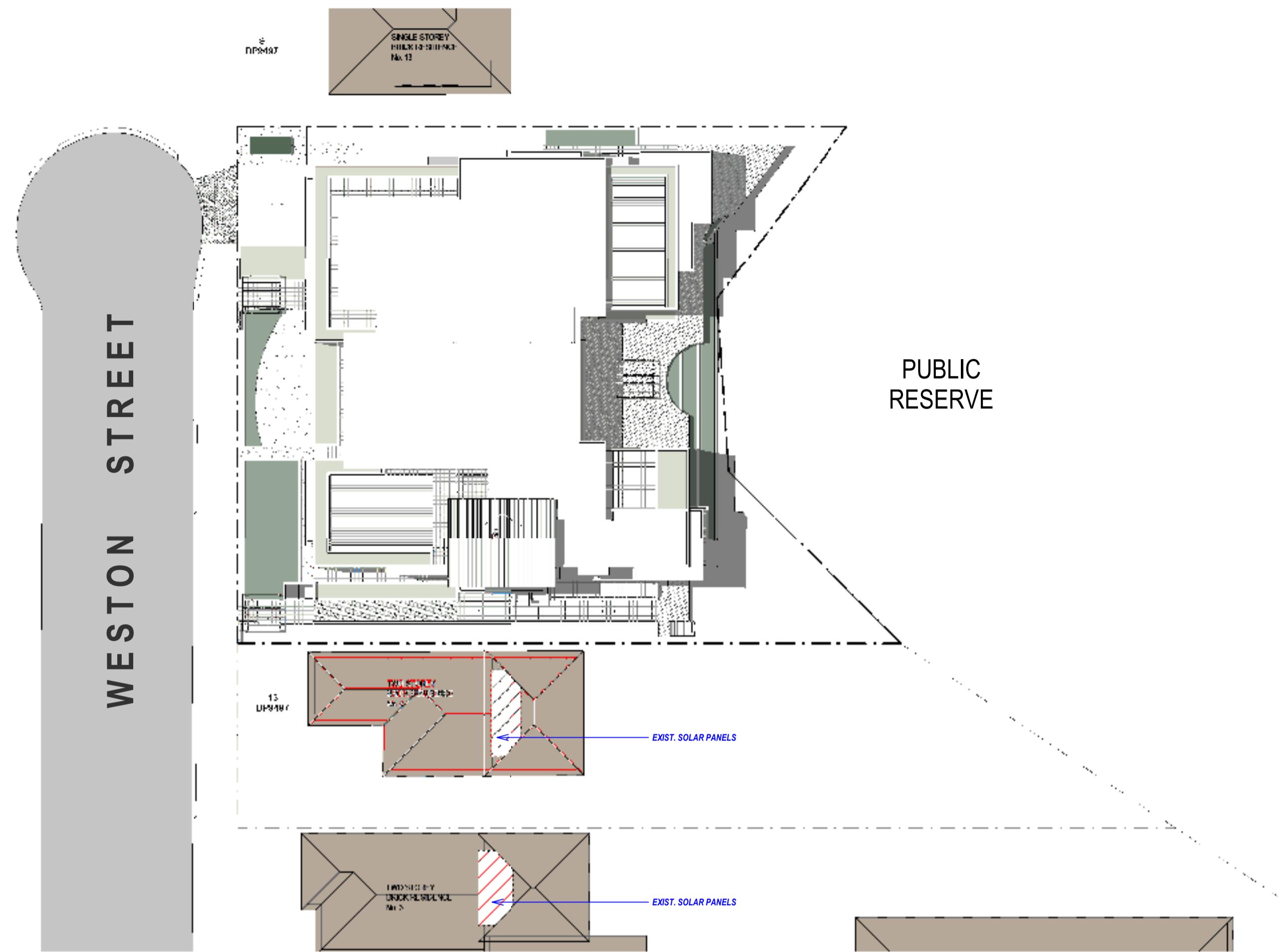
Issue	Issue description	Date
E	Amended to address Council's letter	22-06-18

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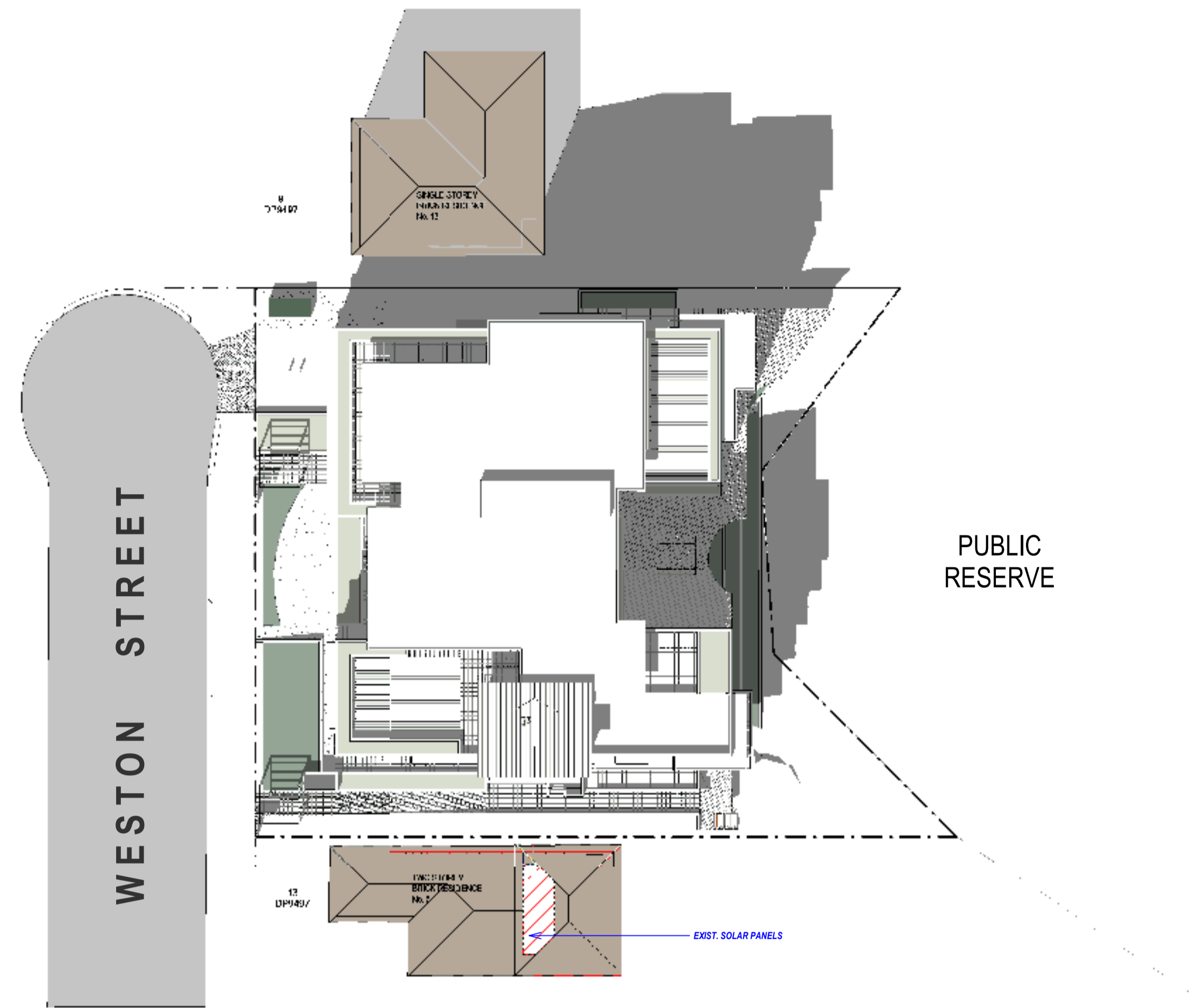
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DEVELOPMENT APPLICATION

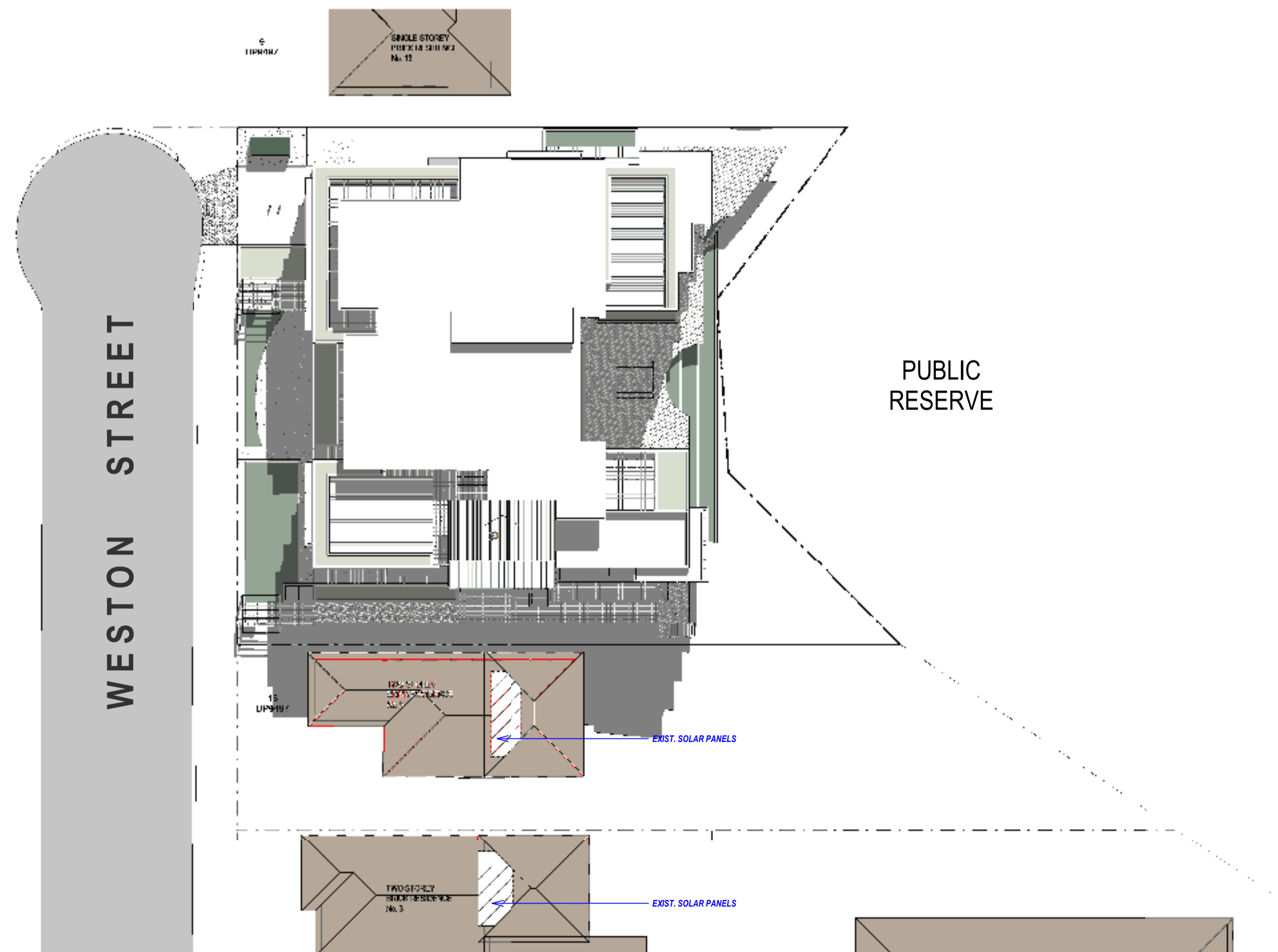
Project PROPOSED RESIDENTIAL APARTMENTS		
Project Address 7-11 Weston Street, Fairfield		
Client Sun Life Dior Pty. Ltd. ATF ATF Sun Life Dior Unit Trust		
Title Shadow Diagrams - September Equinox		
Drawn PDP	Scale 1:300	Checked
Job No 2356	Drawing No. DA26	Issue E



② Shadow Diagrams 12noon 21st December
1:300

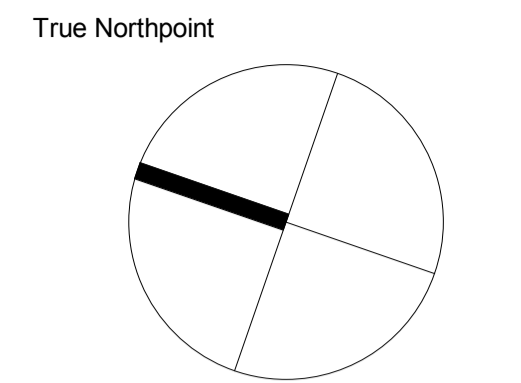


③ Shadow Diagrams 3pm 21st December
1:300



① Shadow Diagrams 9am 21st December
1:300

1:300
0 m 3 6m 15m



Do not scale, check and verify all dimensions before commencing new work. Ground levels may vary due to site conditions.

Issue	Issue description	Date
E	Amended to address Council's letter	22-06-18



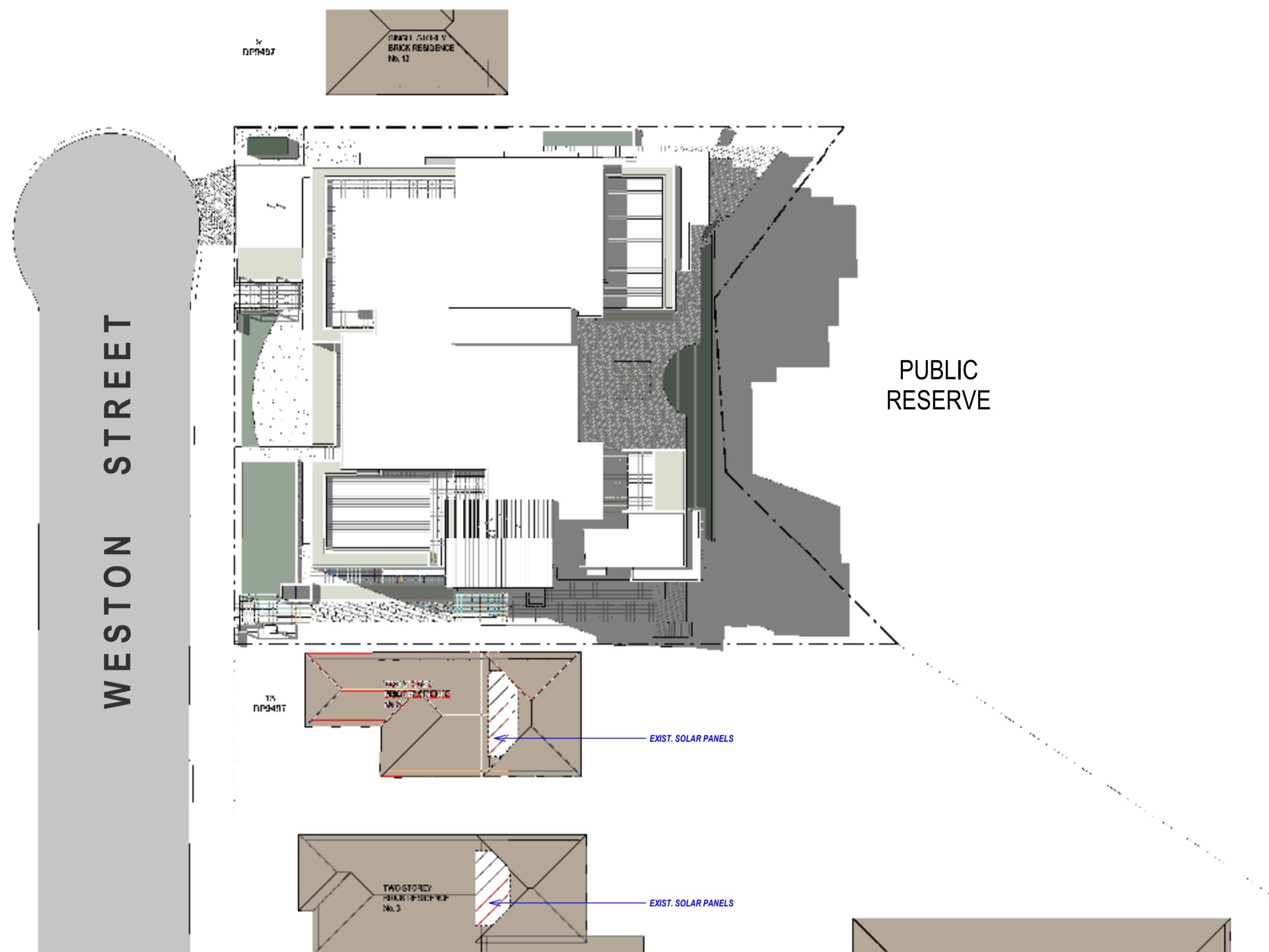
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 ATF Sun Life Dior Unit Trust

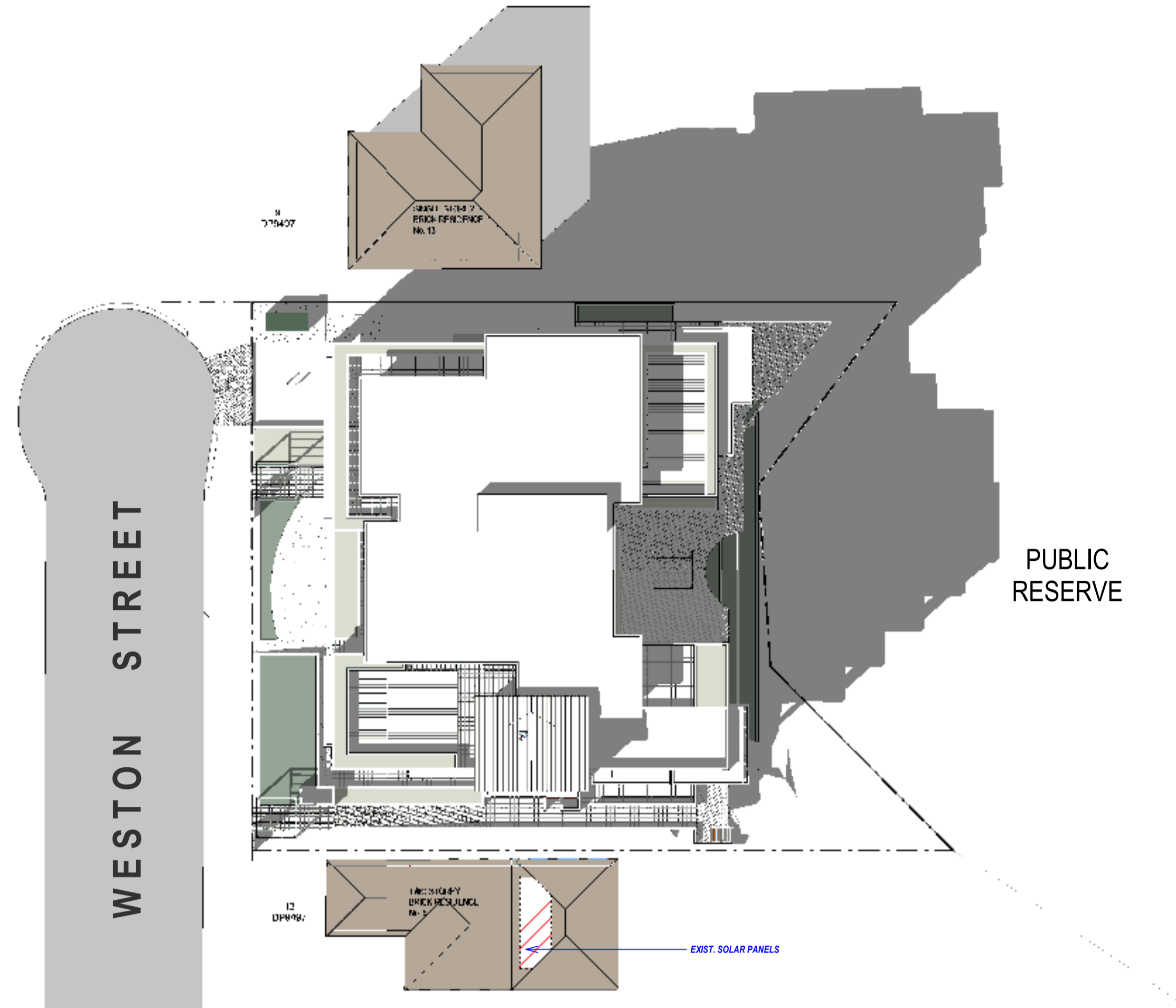
Title
 Shadow Diagrams -
 December Equinox

Drawn	Scale	Checked
PDP	1:300	
Job No	Drawing No.	Issue
2356	DA27	E

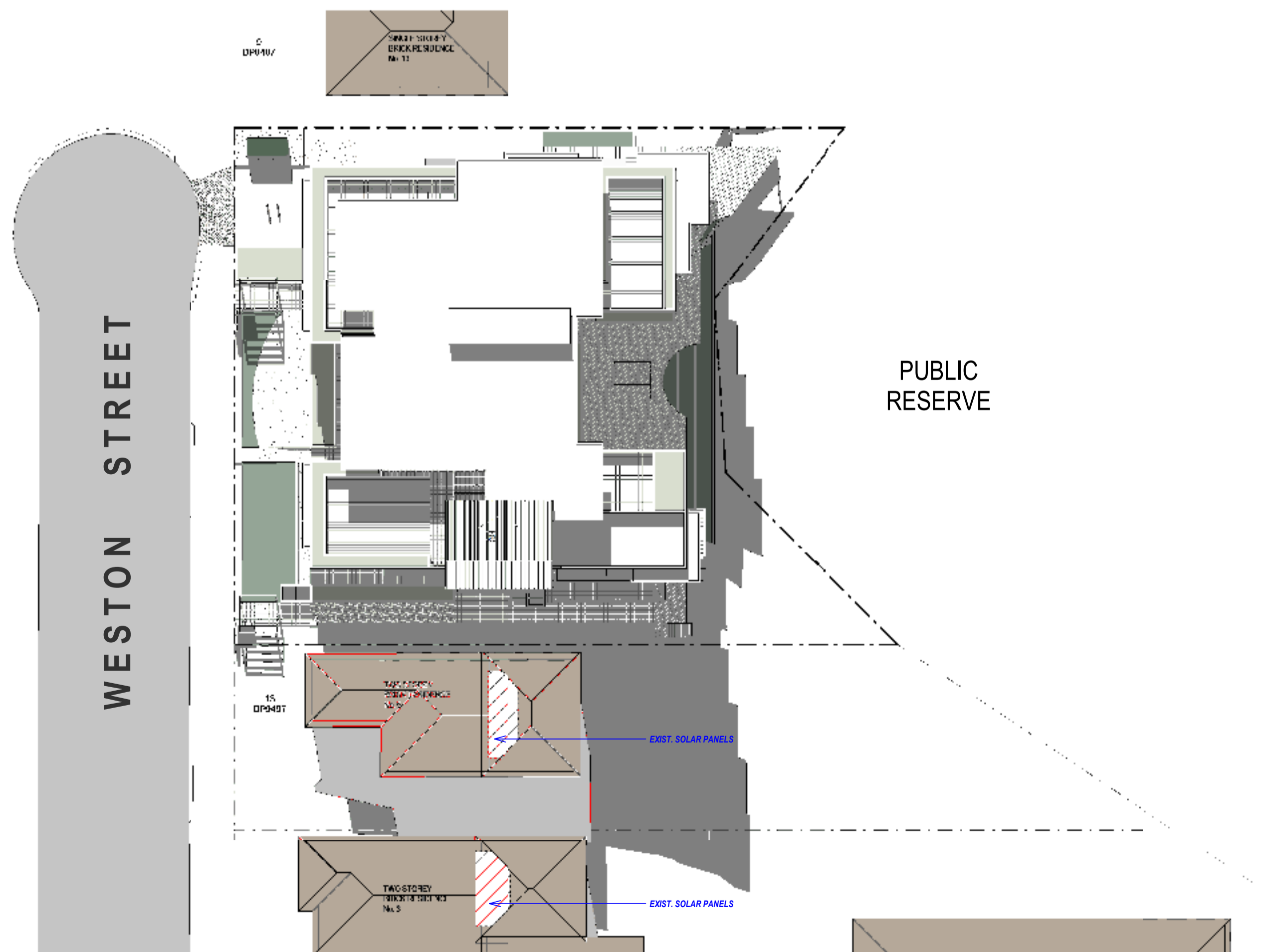
DEVELOPMENT APPLICATION



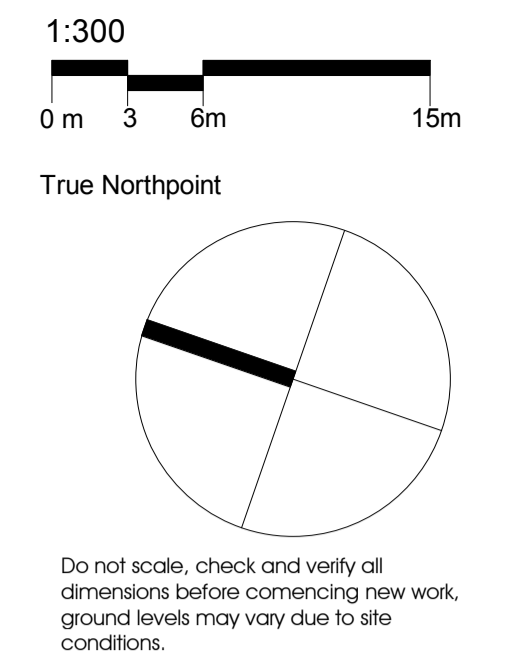
② Shadow Diagrams 12noon 21st March
1:300



③ Shadow Diagrams 3pm 21st March
1:300



① Shadow Diagrams 9am 21st March
1:300



Issue	Issue description	Date
E	Amended to address Council's letter	22-06-18



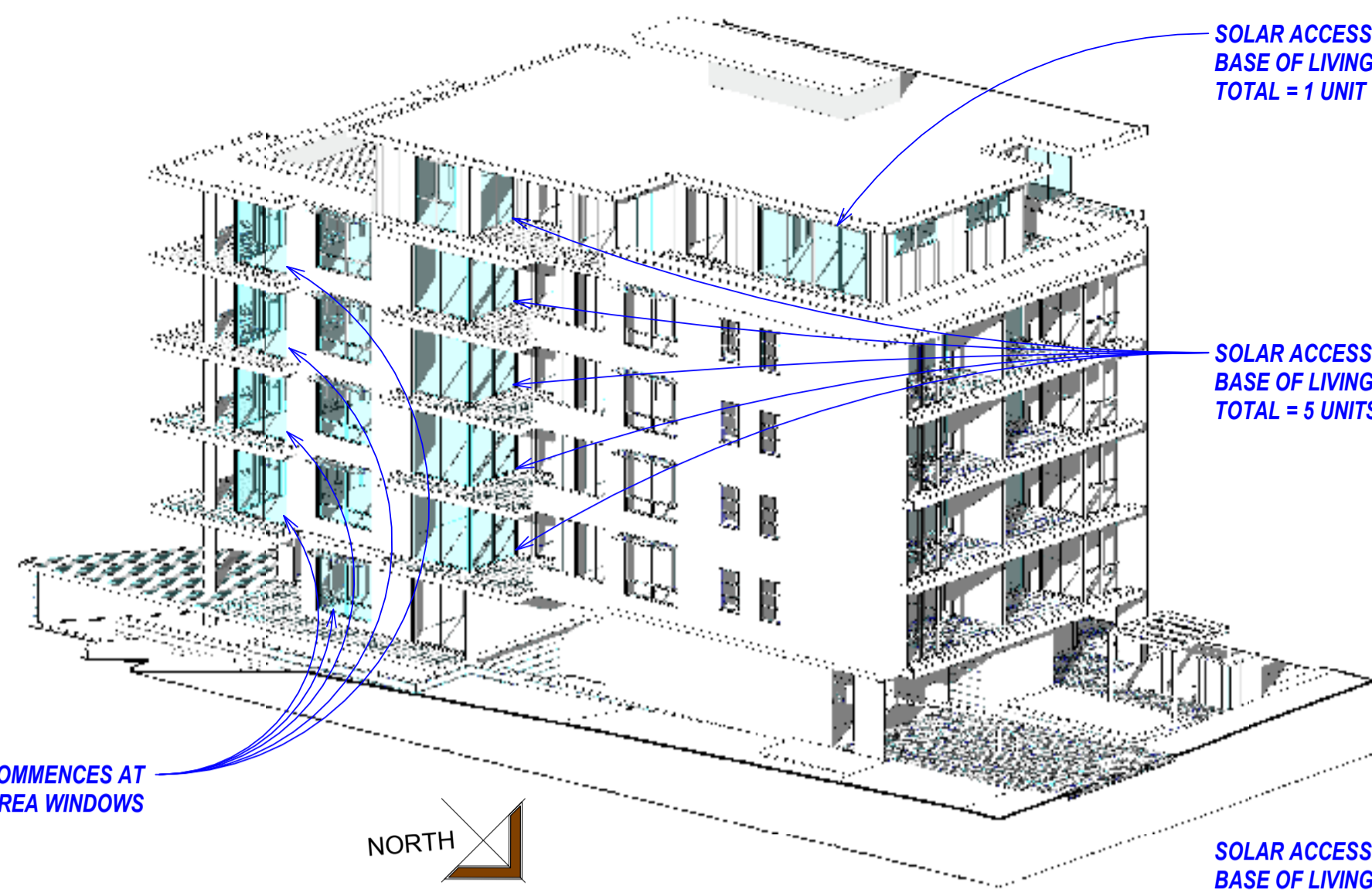
architex
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 Level 3, 7K Parkes Street
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Project
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Project Address
 7-11 Weston Street, Fairfield
Client
 Sun Life Dior Pty. Ltd. ATF
 ATF Sun Life Dior Unit Trust

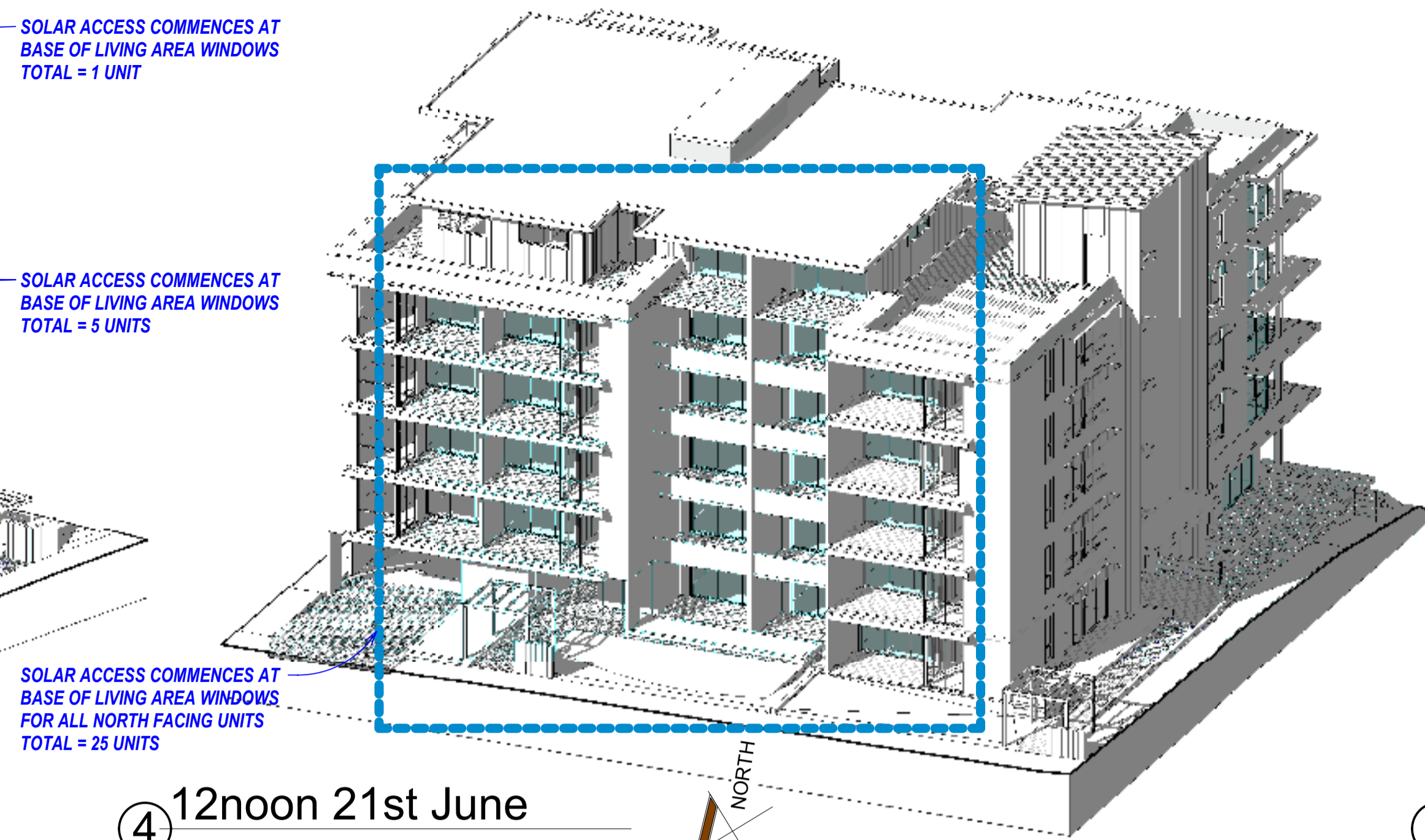
Title
 Shadow Diagrams -
 March Equinox

Drawn	Scale	Checked
PDP	1:300	
Job No	Drawing No.	Issue
2356	DA28	E

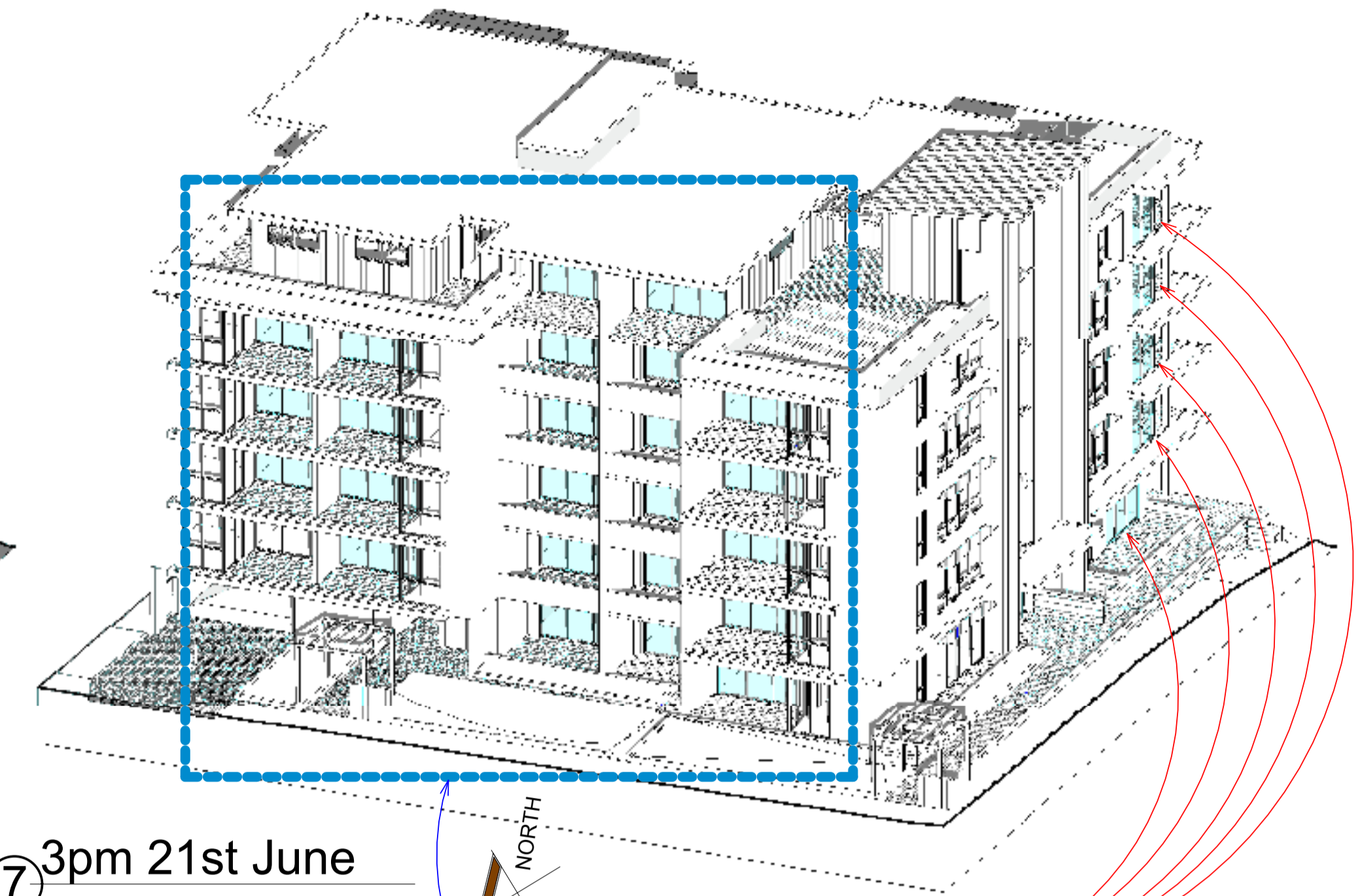
DEVELOPMENT APPLICATION



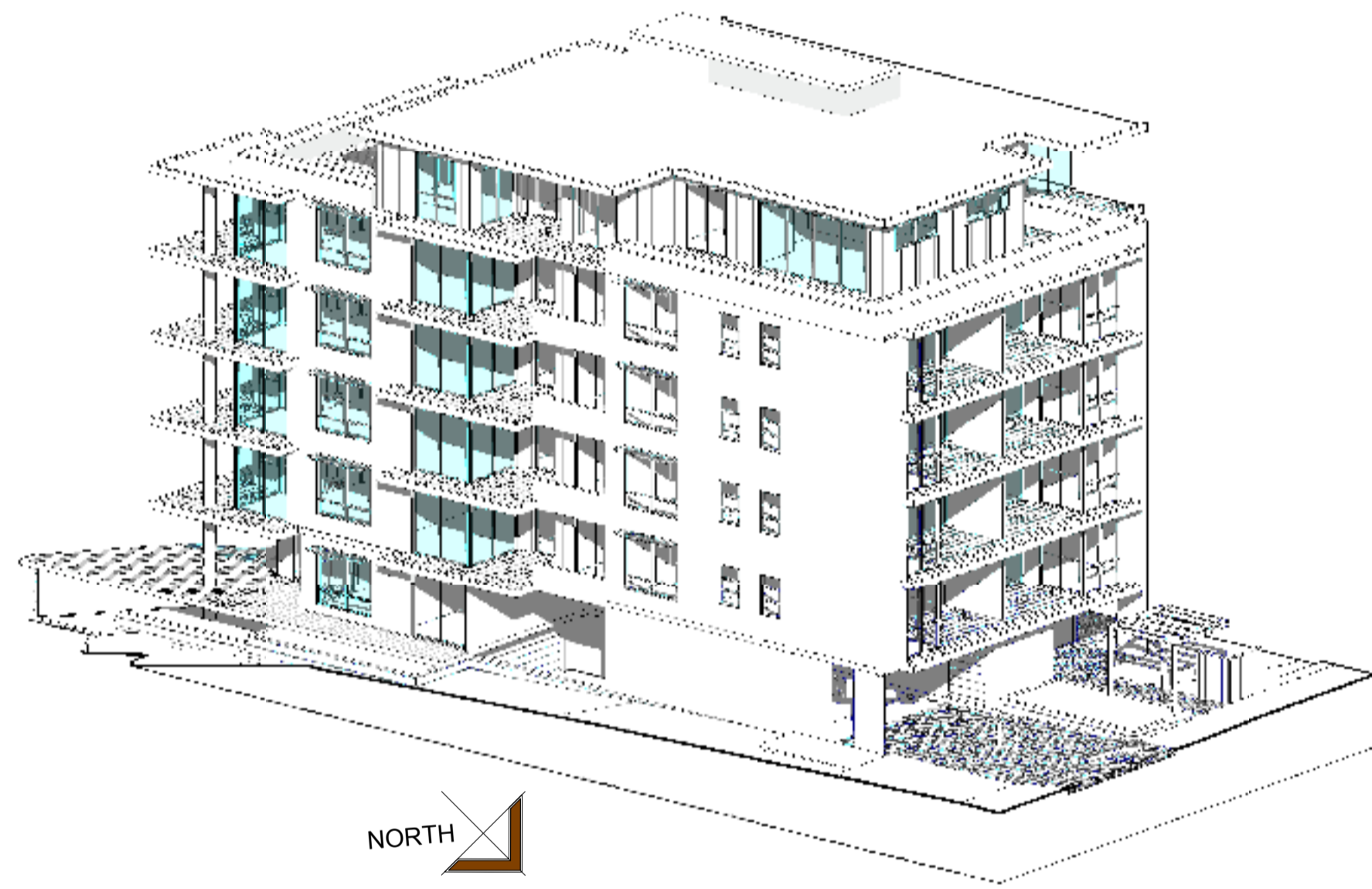
① 9am 21st June



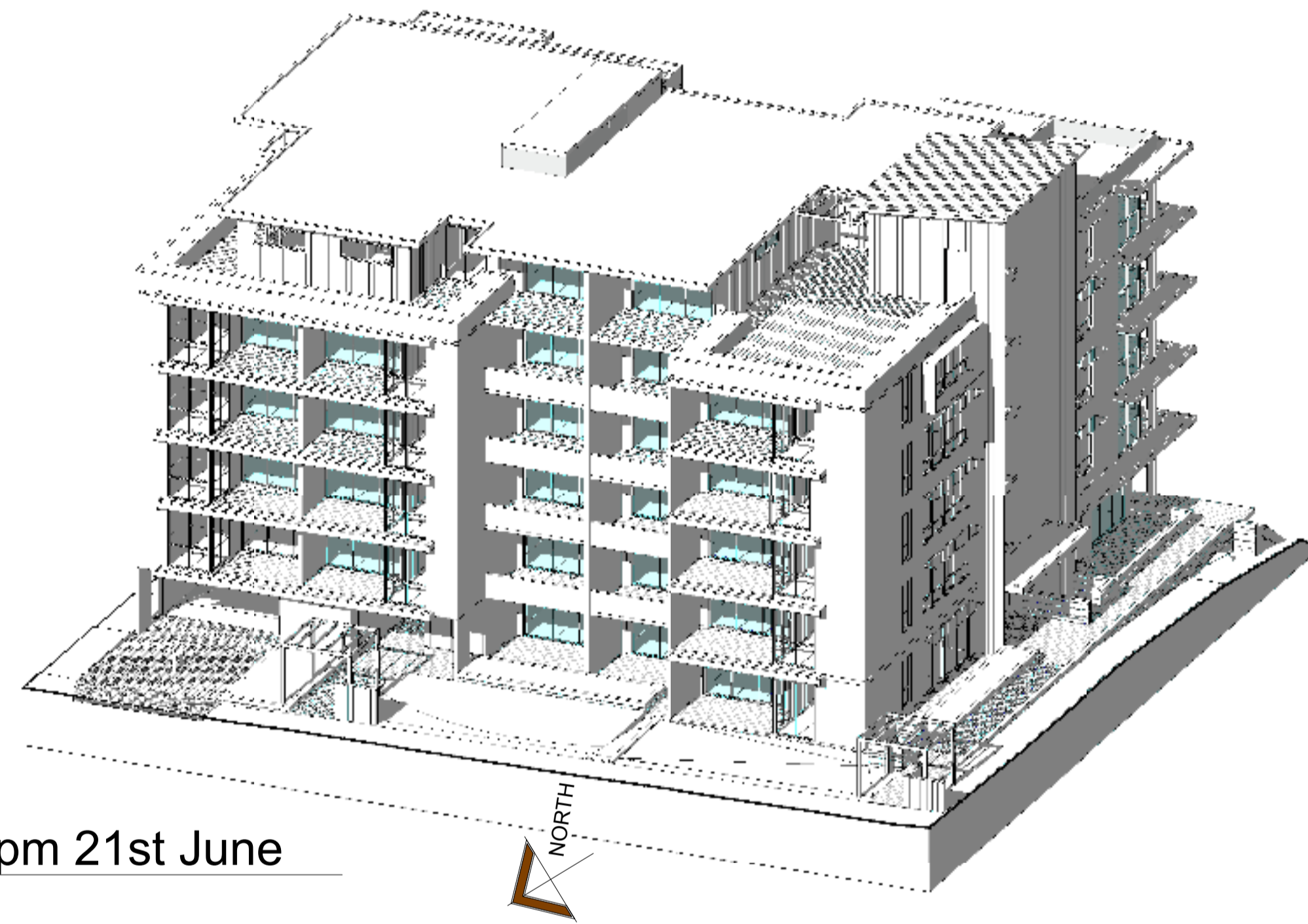
④ 12noon 21st June



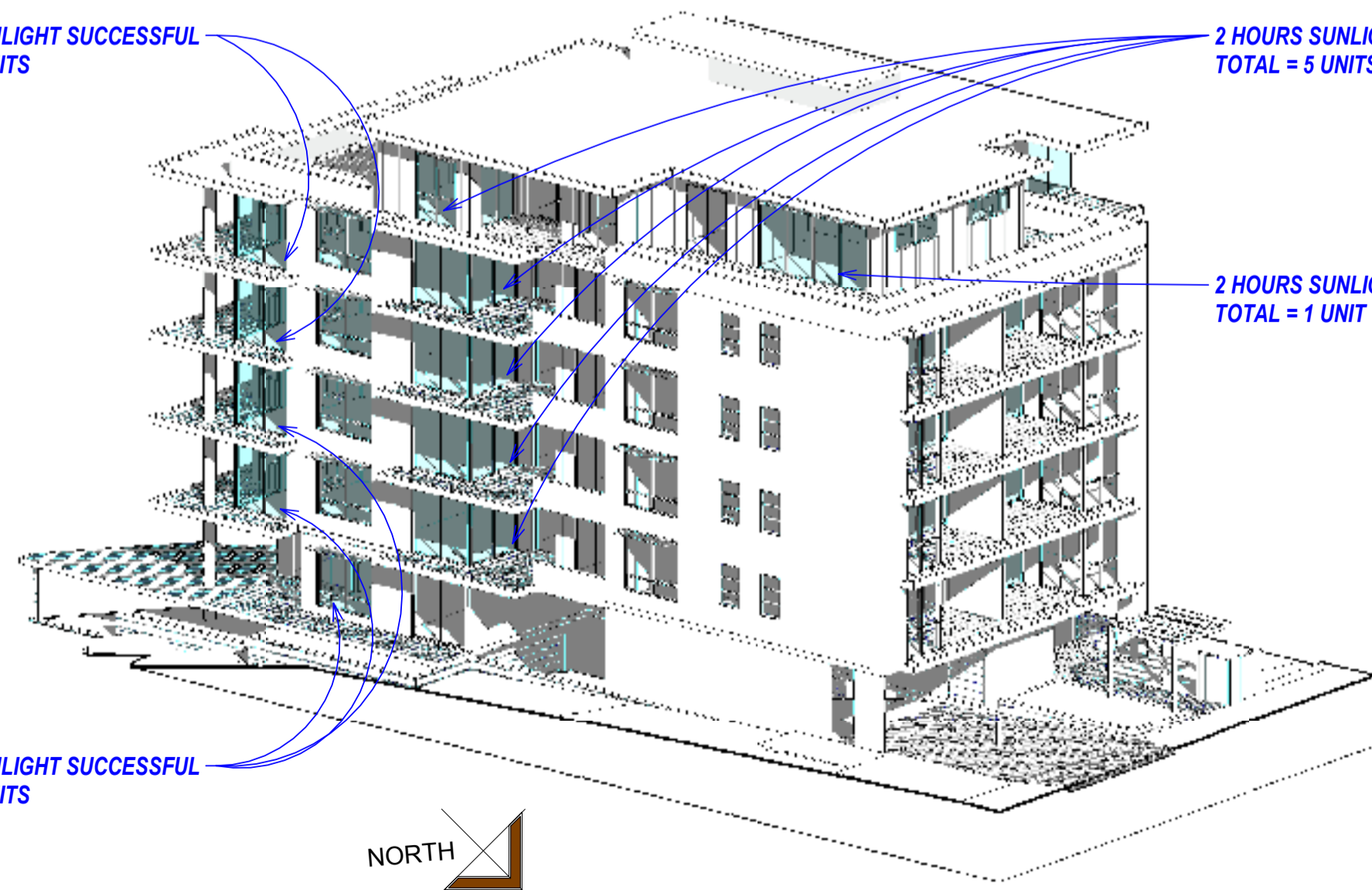
⑦ 3pm 21st June



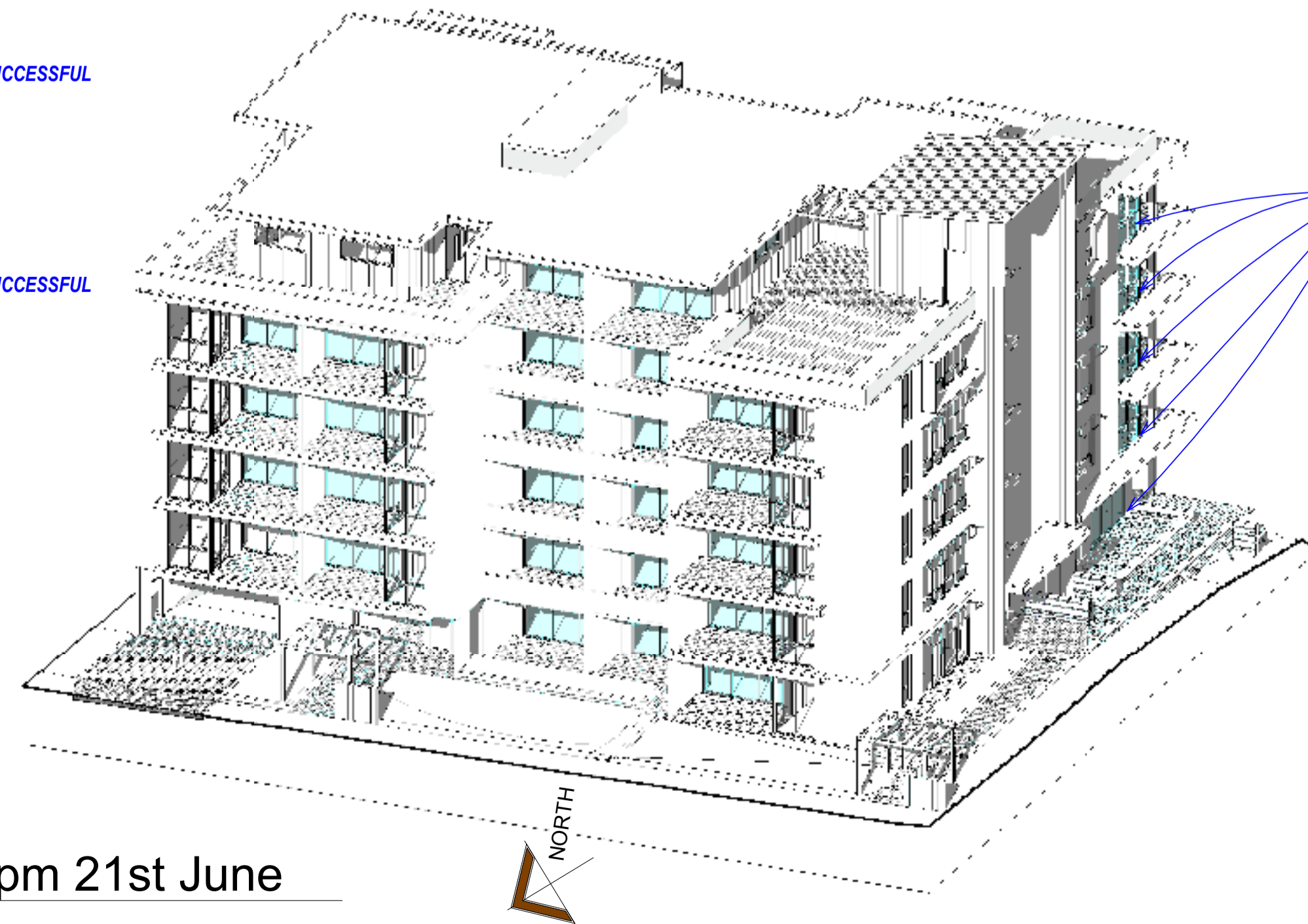
② 10am 21st June



⑤ 1pm 21st June



③ 11am 21st June



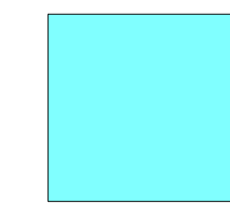
⑥ 2pm 21st June

2 HOURS MIN. SUNLIGHT UNSUCCESSFUL
(1 hour only)
TOTAL = 5 UNITS

ALL NORTH FACING UNITS
2 HOURS SUNLIGHT SUCCESSFUL
TOTAL = 25 UNITS

SOLAR ACCESS TABLE		
SUNLIGHT TO LIVING AREAS AT 21st JUNE		
Hours	No. of Units	%
0	0	0
0 - 2	5	12
2 +	36	88

LEGEND

 HIGHLIGHTS WINDOWS OF LIVING / DINING AREA OF APARTMENT

Issue	Issue description	Date
E	Amended to address Council's letter	22-06-18

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 Level 3, 7K Parkes Street email@architex.com.au
 Parramatta NSW 2150 www.architex.com.au
 Principal Architect: Robert Del Pizzo
 NSW Reg. No. 3972

DEVELOPMENT APPLICATION

Project
PROPOSED RESIDENTIAL APARTMENTS

Project Address
 7-11 Weston Street, Fairfield

Client
 Sun Life Dior Pty. Ltd. ATF
 ATF Sun Life Dior Unit Trust

Title
Solar Access Diagrams

Drawn PDP	Scale 1 : 200	Checked
Job No 2356	Drawing No. DA29	Issue E



SELECTED 1.8M HIGH TIMBER LAPPED + CAPPED FENCE TO SCREEN SUBSTATION FROM STREET

FEATURE TIMBER FRAMED GARDEN PERGOLA TO ENTRY WITH SS CABLES TO WEAVE THROUGH CREEPER VINES

① Aerial View from Weston Street



② Aerial View from Fairfield Reserve (Western Bdry)

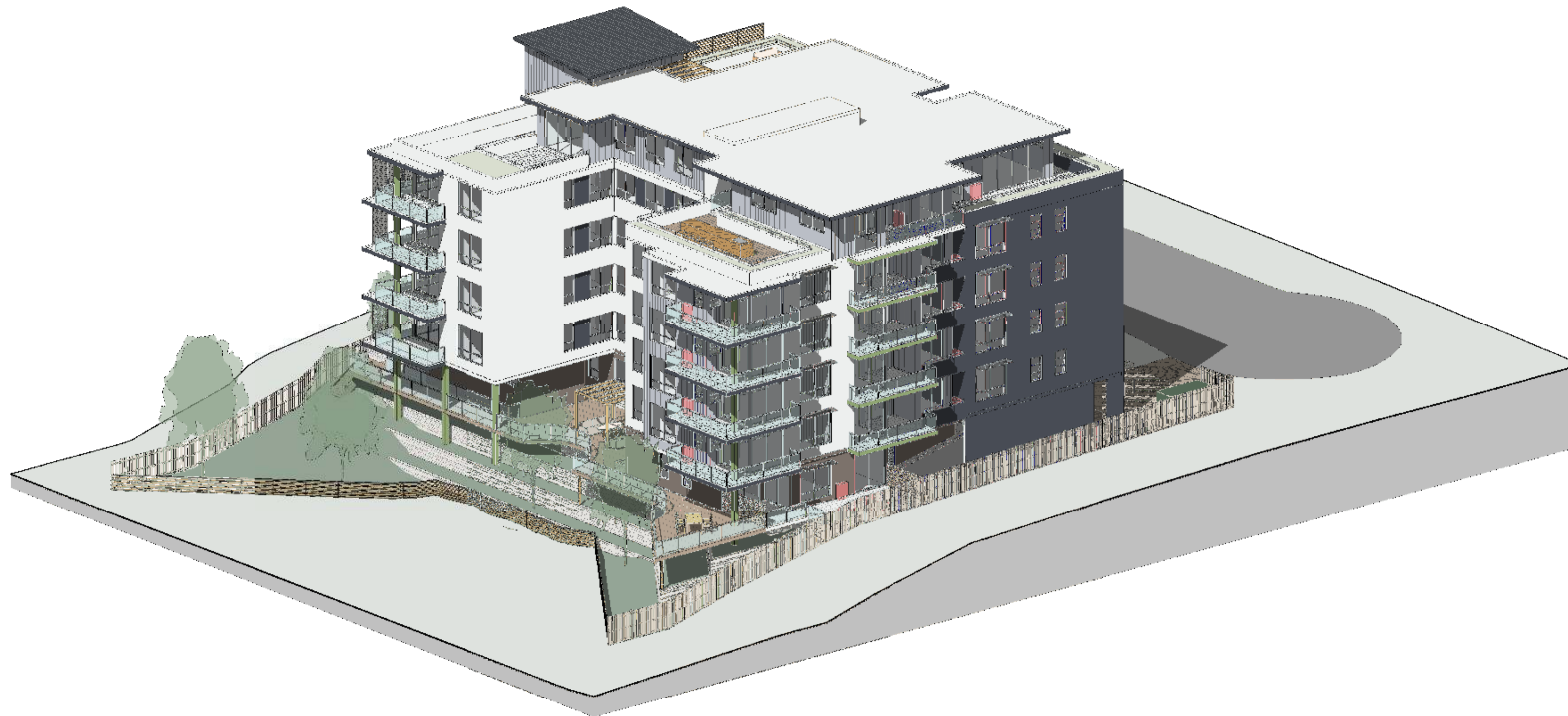
Issue	Issue description	Date
E	Amended to address Council's letter	22-06-18
C	Development Application Issue	23-02-18
B	Prelim. Issue to Consultants	21-12-17
A	Prelim. Issue to Client	29-11-17



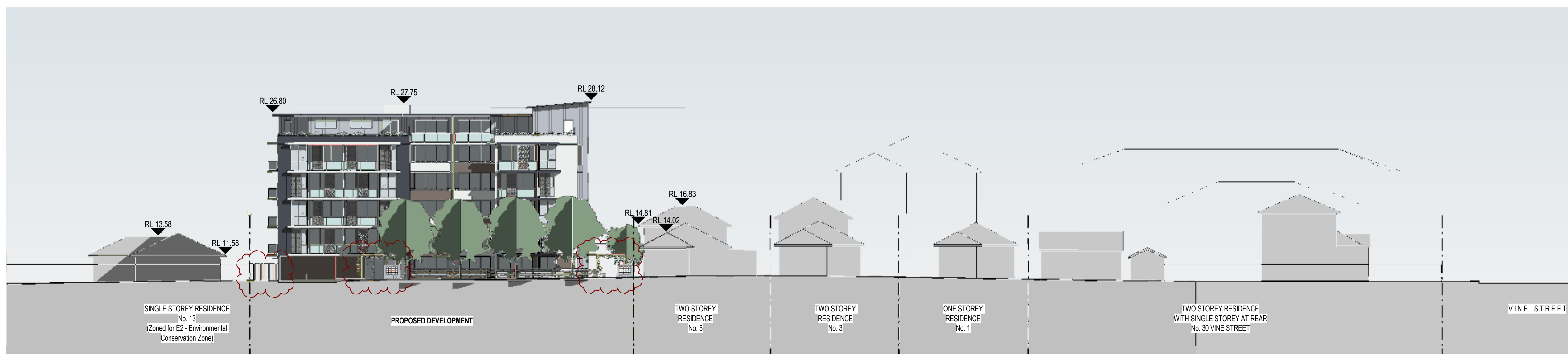
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DEVELOPMENT APPLICATION

Project PROPOSED RESIDENTIAL APARTMENTS		
Project Address 7-11 Weston Street, Fairfield		
Client Sun Life Dior Pty. Ltd. ATF ATF Sun Life Dior Unit Trust		
Title Aerial Views		
Drawn PDP	Scale	Checked
Job No 2356	Drawing No. DA30	Issue E



③ Aerial View from Fairfield Reserve (Eastern Bdry)



① Streetscape Elevation - Weston Street
1:250

Issue	Issue description	Date
E	Amended to address Council's letter	22-06-18



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Project
PROPOSED RESIDENTIAL APARTMENTS
 Project Address
 7-11 Weston Street, Fairfield
 Client
 Sun Life Dior Pty. Ltd. ATF
 ATF Sun Life Dior Unit Trust

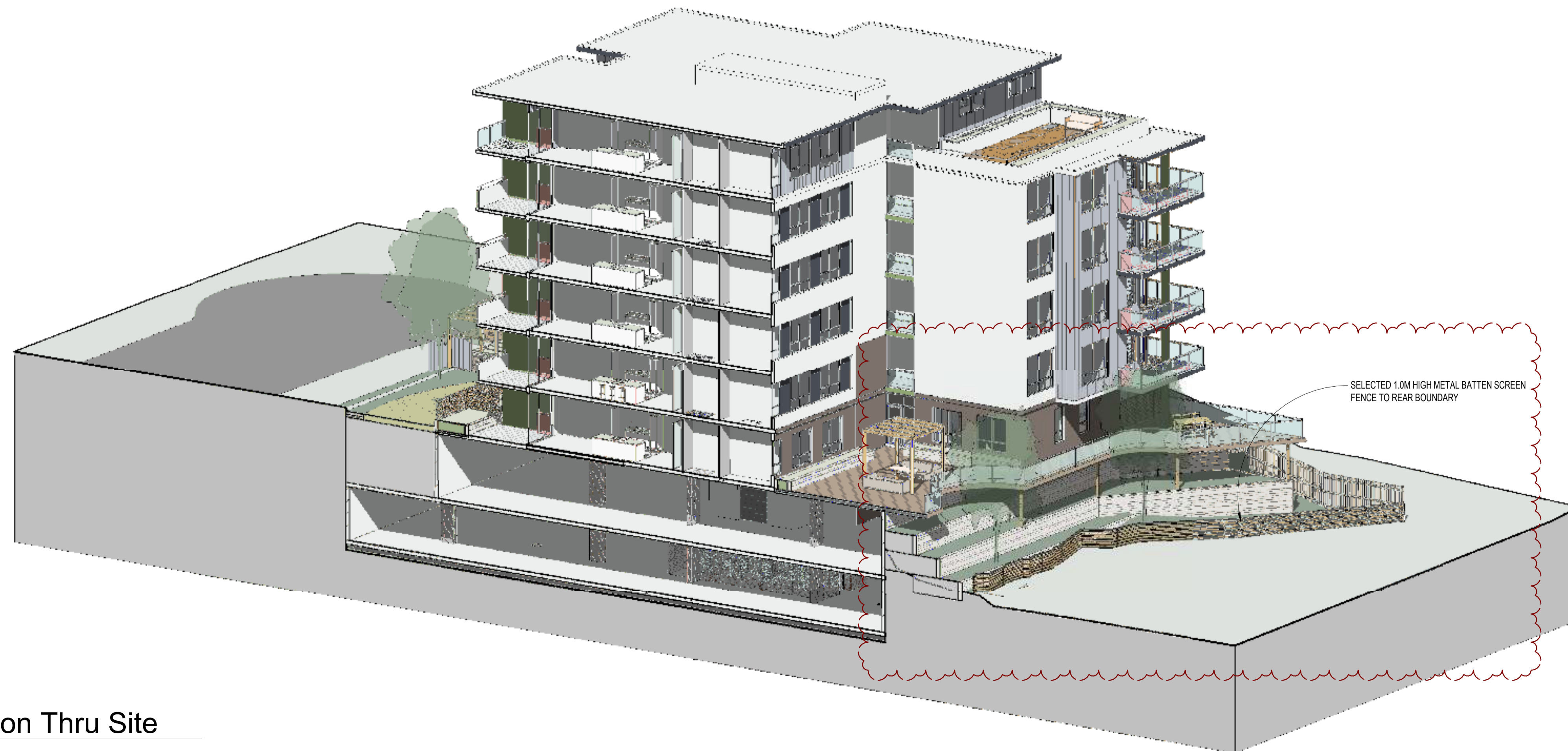
Title
Aerial View + Streetscape Elevation

Drawn	Scale	Checked
PDP	1:250	
Job No	Drawing No.	Issue
2356	DA31	E

DEVELOPMENT APPLICATION



① 3d Section Thru Lobby



② 3d Cross Section Thru Site

Issue	Issue description	Date
E	Amended to address Council's letter	22-06-18
D	Parking reduced in accordance with Part 3J of the ADG	11-05-18
C	Development Application Issue	23-02-18
B	Prelim. Issue to Consultants	21-12-17
A	Prelim. Issue to Client	29-11-17

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DEVELOPMENT APPLICATION	Project	
	PROPOSED RESIDENTIAL APARTMENTS	
	Project Address	
	7-11 Weston Street, Fairfield	
	Client	
Sun Life Dior Pty. Ltd. ATF ATF Sun Life Dior Unit Trust		
Title		
3d Sections		
Drawn	Scale	Checked
PDP		
Job No	Drawing No.	Issue
2356	DA32	E



Issue	Issue description	Date
C	Development Application Issue	23-02-18

Code	Application	Manufacturer	Finish	Product ID / Description	Sample
P1	Panel Finish 1	Durolux	Lacdon Half	SW1 G2	
P2	Panel Finish 2	Deluxa	Silver	SG6 E7	
P3	Panel Finish 3	Durolux	Paparroni	S09 A6	
P4	Panel Finish 4	Durolux	Levy Tern	S20 D5	
C1	Wall Cladding 1	James Hardie Durolux Products	Skylux Stria cladding Honed edge	404522 - 250mm wide splayed SG6 E1	
R1	Roof Cladding 1	Colorbond	Custom Orb Sheeting	Ironstone	
PC1	Window Frames / Balconies	Durolux Durolux	Density City Silver Pearl	900/024Q	
PC2	Cladding / Sillings	Durolux Durolux	Zinc Timberland Satin	90073155	
F1	Perimeter / Casework Frame	Aluminium	Wood Finish	Casuarina (or sim lar)	
F2	Timber Decking	James Hardie	HaukeDeck	Merbau Timber Finish Intergrain NaturalStain	
K1	Footpath / Driveway	Enrol	Split Face Designer Block	200mm series Pearl Grey	

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Project PROPOSED RESIDENTIAL APARTMENTS		
Project Address 7-11 Weston Street, Fairfield		
Client Sun Life Dior Pty. Ltd. ATF ATF Sun Life Dior Unit Trust		
Title Schedule of Finishes		
Drawn PDP	Scale 1 : 100	Checked
Job No 2356	Drawing No. DA33	Issue C

DEVELOPMENT APPLICATION

① Schedule of Finishes - North Elevation
1:100